

OAK BLUFF



**January 2009
Proposal**

Planned Unit Development District

**Cainhoy Property
City of Charleston ~ Berkeley County
South Carolina**

**Prepared By
Bennett Hofford Construction Company, Inc.
In Conjunction With
HLA, Inc.
For
Oak Bluff, LLC**

Proposed Development Guidelines

OAK BLUFF

The Landing at Oak Bluff & Oak Bluff Village
Cainhoy, South Carolina

~~December 2009~~
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“OAK BLUFF”

PROPOSED PLANNED UNIT DEVELOPMENT DISTRICT

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I. RELATIONSHIP TO ZONING ORDINANCE

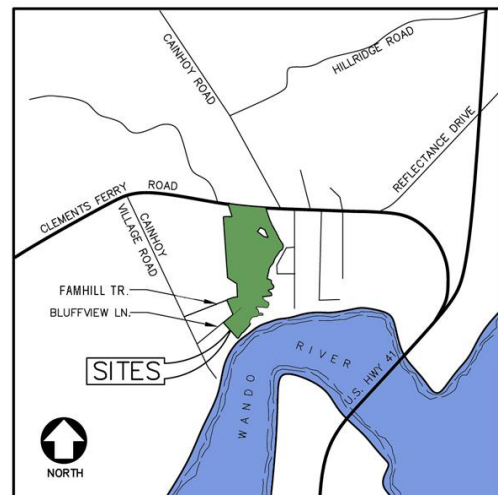
The Zoning Ordinance of the City of Charleston (“Zoning Ordinance”) is incorporated by reference, except as amended by these development guidelines (“Guidelines”). No person shall erect or alter any building, structure or sign within the Oak Bluff Planned Unit Development (the “PUD”) except in conformance with the Zoning Ordinance and the Guidelines. Unless modified herein, definitions of terms used in the Oak Bluff PUD Master Plan and the Development Guidelines shall follow definitions listed in the Zoning Ordinance. Administration and enforcement of the PUD Master Plan and these Guidelines shall follow Article 9 of the Zoning Ordinance.

II. PURPOSE & INTENT

It is the purpose and intent of these guidelines to set forth the objectives and minimum design standards of the development plan for the Cainhoy properties also known as Oak Bluff.

III. PROPERTY DESCRIPTION

The property is located on Clements Ferry Road, between Cainhoy Village Road and Bridge Creek. It is comprised of five contiguous parcels with Clements Ferry Road and Wando River frontage. All five parcels are annexed into the City of Charleston. Three of the five parcels are zoned SR-1; the other two parcels are zoned RR-1. The included TMS#s are: 263-00-02-003, 269-00-00-043, 269-00-00-027, 269-00-00-001, and 269-00-00-002. All five parcels together total 60.655 acres of which 43.142 acres are high land. The natural topography of the land creates 2 separate development areas; a sizable area fronting Clements Ferry Road is separated by marsh from a smaller area fronting the Wando River. Logically, we describe the project as having ‘upper’ and ‘lower’ development areas. There is an SCE&G power line easement running north-south through the property that takes a total of 9.852 acres.



The ‘upper’ portion totals 31.008 acres of highland, of which 6.103 acres are located within the power line easement. There are 945.58 feet of frontage on

Clements Ferry Road. Bridge Creek runs along the eastern side of the property, creating a significant marsh border that wraps around more than half of the upper portion thus making for some beautiful marsh views. The power line easement bisects the property, and from an aerial view it is easy to see a clear left and right division. The left (west) is a somewhat clear field of shrubs, tall grasses and a scattering of trees. The right (east) is a dense grove of a variety of natural trees with most of the Live Oaks lying on the edge of the high ground bordering the marsh. There is a well-defined cemetery surrounded by the tree grove. The cemetery is not owned by Oak Bluff, LLC or included in the Oak Bluff PUD.

The ‘lower’ portion totals 12.134 acres of highland (7.342 + 2.031 + 2.779). 1.853 highland acres are located within the power line easement. The Wando River frontage is the defining characteristic of this portion. There is 366.60 feet of river front with an existing bulkhead, a 9 slip floating dock in need of repair, and 5 feet of water at low tide, none of which is located under the power line easement. The remaining eastern edge is wrapped with a significant marsh border formed at the mouth of Bridge Creek. There is a scattering of grand oak trees that will make for beautiful ‘green’ areas of the development, and there are great views of the river. On the far eastern point there is one residential structure of no historic significance, and in the general center of the property there is a historical residential structure that is listed on the National Register of Historic Places (NRHP). This development area is accessed via Cainhoy Village Road. There is an existing 50’ Right-of-Way and Utility easement called Famhill Trail and a private dirt access road called Bluffview Lane.

The property is surrounded by other SR-1 residential, General Business (GB), and Cainhoy (CY) zoning districts. The ‘upper’ portion of the property falls within the ¼ mile pedestrian shed associated with the area intended by the Century V Plan for the Cainhoy Road/Clements Ferry Road ‘neighborhood/village gathering place’ designation.

Developable Acres for the Oak Bluff PUD:

Gross	60.655 acres
Net	43.142 acres
Jurisdictional Wetlands	0.00 acres
Non Jurisdictional Wetlands	0.292 acres
Critical Area	17.2 acres
Power Line Easement	9.852 acres

IV. DEVELOPMENT OBJECTIVES

Continuing development of the Cainhoy peninsula will generate demands for commercial facilities, and residential housing. Given that the property is located within the City of Charleston Urban Growth Boundary, is located along a major thoroughfare, and supporting infrastructure exists, A Traditional Neighborhood Development (TND) is an appropriate community type. Oak Bluff will help define the Cainhoy Village area by creating a pedestrian friendly mixed-use village in a scenic setting that will serve as a community gathering place for current and future residents to enjoy. Oak Bluff's intentions are to focus on sustainable design, preserve and protect sensitive environmental areas, utilize Best Management Practices, encourage 'green' building techniques, respect the cultural heritage, and allow for aesthetically appropriate architecture on commercial and residential buildings as a way to compliment the surrounding area.

V. LAND USE

The "upper" development area of the project will be known as *The Landing at Oak Bluff*. The Landing will have a true mixed use quality with commercial uses for the residents and the Cainhoy community due to the direct access to Clements Ferry Road. The plan allows space available to the City of Charleston for the potential needs of fire and/or police protection. The land is available to be donated to the City of Charleston for this need. Discussions with the City to determine feasibility and design criteria are ongoing at this point in time. The Landing also allows for a mixing of commercial uses with a potential adult care retirement community, a multi-family village, and single family detached homes.

The "lower" development area of the project will be known as *Oak Bluff Village*. The Village is mostly intended for specific uses due to the Wando River frontage. The plan allows for a small scale dry-stack boat storage facility and 2 restaurants on the river, surrounded by single family and duplex style cottages. Generous waterfront open space, allowed for public use, compliments the commercial and residential uses planned for The Village. Access to The Village will be via Cainhoy Village Road and through the existing 50' Fam Hill Road Right-of-Way and utility easement.

See Table 1: Land Uses ~ page 4

TABLE 1
OAK BLUFF

Upper Village ~ "The Landing at Oak Bluff"

Tax Map Number	Highland Acreage	Total Units	Density
263-00-02-003	31.008	174	5.6
269-00-00-043			

Allowed Uses

Single Family Detached (SFD)	Counts towards residential units
Single Family Attached (SFA)	Counts towards residential units
Senior Living Independent Living (MF)	Counts towards residential units
Continuing Care Retirement Community	Nursing/Assisted Living Beds
Residential Lofts over Commercial	Counts towards residential units
OB5 Commercial	60,000 SF (includes possible fire station)
Limited Commercial in OB4 Districts	12,000 SF Max. (see note 2)

Notes:

1. In the Continuing Care Retirement Community / Senior Living Community, only those uses with kitchens count as residential units when calculating density.
2. Non-Residential Unit components in the Continuing Care Retirement Community shall not count as 'commercial square footage' in the OB4 Districts

Lower Village ~ "Oak Bluff Village"

Tax Map Numbers	Highland Acreage	Total Units	Density
269-00-00-027	12.134	42	3.5
269-00-00-001			
269-00-00-002			

Allowed Uses

Single Family Detached (SFD)	Counts towards residential units
Single Family Attached Duplex (SFA)	Counts towards residential units
Commercial, Retail, Office, Restaurants (2)	15,500 SF (indoor heated space)
Dry Stack + 1 service Dock	Maximum 120 dry slips (see note 3)
Courtesy Wet Slips (no individual ownership)	29 Maximum (divided between all docks)
Oak Bluff Community Docks	2 Maximum

Village & The Landing Combined	Highland Acreage	Total Units	Density
Oak Bluff Combined Net Density (see note 4)	43.142	216	5.0

Notes:

3. Maximum footprint of any single dry stack building not to exceed 175' x 40'. Height and design criteria shall comply with requirements of OBSD in District Regulations Table 2.
4. Any combination of residential units may be used up to a maximum of 5.0 units per acre combined net density for the Upper and Lower Village including SFA, SFD, MF, Loft, and Independent Senior Living.
5. If Dry Stack use (OBSD) is not developed, an additional restaurant is permissible by right in it's location in the lower village.

VI. DISTRICT REGULATIONS

There are five districts outlined in the Oak Bluff PUD:

OB5: Dense Commercial & Limited Residential (Attached or Multi-Family Units)

OB4: Mixed Use Limited Commercial & Residential (Attached & Detached)

OB4A: Mixed Use Limited Commercial & Residential (Attached & Detached)
with Limited Height & Lot Occupancy

OBV: Residential (Detached & Duplex) & Very Limited Commercial

OBSD: Dry Stack Boat Storage & Associated Operational Commercial

OBSD shall convert to OBV by right if OBSD use is not developed

See Table 2: District Regulations ~ page 6

See Table 3: OB5 Form Based Code ~ page 7

See Table 4: OB4 Form Based Code ~ page 8

See Table 5: OB4A Form Based Code ~ page 9

See Table 6: OBV Form Based Code ~ page 10

See Table 7: OBSD Form Based Code ~ page 11

See table 8: Allowed Frontages ~ page 12

See table 9: Disposition ~ page 13

See table 10: Sustainability – Wind & Solar Power ~ page 14

See table 11: Sustainability – Food Production ~ page 15

See table 12: Oak Bluff Specific Function & Permitted Uses ~ page 16

DISTRICT REGULATIONS TABLE

TABLE 2 OAK BLUFF

DISTRICT REGULATIONS					
TRANSECT	OB5	OB4	OB4A	OBV	OBSD*
a. Block Size					
Block Face	600'	800 feet **	800 feet **	600 feet	600 feet
b. Building Configuration / Height (stories)					
Principal Building (max)	3.5 stories	3 stories	2 stories	2.5 stories	35' to eave ***
Outbuilding (max)	2 stories	2 stories	2 stories	1.5 stories	2 stories
c. Lot Occupation					
Lot Occupancy (max)	80% max	70% max	60% max	60% max	80% max
Lot Width (min) (Principal Frontage)	18' min	18' min	18' min	18' min	18' min
	n/a	100' max	100' max	65' max ****	n/a
d. Setbacks-Principal building (see tables 3-7)					
Front Setback (principal)	0' min	3' min	5' min	5' min	10' min
	12' max	18' max	18' max	18' max	n/a
Front Setback (secondary)	2' min	5' min	5' min	5' min	2' min
	12' max	18' max	18' max	18' max	12' max
Side Setback	per fire code	per fire code	per fire code	per fire code	per fire code
Rear Setback	3' min	3' min	3' min	3' min	0' min
	or 15' from center of alley				n/a
Frontage Buildout	60% min	40% min	40% min	40% min	50% min
e. Setbacks-Accessory building (see tables 3-7)					
Front Setback	First Layer + bldg setback	First Layer + bldg setback	First Layer + bldg setback	First Layer + bldg setback	First Layer + bldg setback
Side Setback	per fire code	per fire code	per fire code	per fire code	per fire code
Rear Setback	5' from Rear Alley	5' from Rear Alley	5' from Rear Alley	5' from Rear Alley	n/a
f. Building Disposition (see table 9)					
Edgeyard		X	X	X	X
Sideyard	X	X	X	X	X
Rearyard	X	X	X	X	X
Courtyard	X				X
g. Private Frontages (see table 8)					
Common Yard		X	X	X	X
Porch and Fence		X	X	X	
Terrace and Dooryard	X	X	X	X	
Forecourt	X	X	X	X	X
Stoop	X				X
Shopfront and Awning	X	X	X	X	X
Gallery	X				X
Arcade	X				X
h. Open Space (see table 21)					
Park	X	X	X	X	X
Green	X	X	X	X	X
Square	X	X	X	X	X
Plaza	X				
Greenway	X	X	X	X	X
Conservation	X	X	X	X	X
Playground		X	X	X	

X = permitted in district

* OBSD shall convert to OBV by right if OBSD use is not developed including the right to have an additional restaurant use.

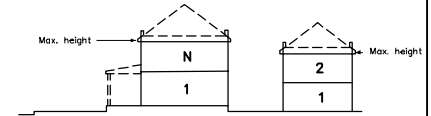
** Blocks over 600' in length must provide a pedestrian connection.

*** No boat storage above eave height under roof / pitch. Height shall be measured from existing grade.

**** 65' max applies to residential lots only No max lot width requirement for commercial lots

BUILDING CONFIGURATION

- Building height shall be measured in number of Stories, excluding Attics and raised basements.
- Stories may not exceed 15 feet in height from finished floor to finished ceiling.
- Height shall be measured to the eave or roof deck.

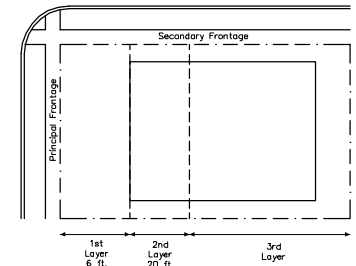


*"N" stands for any Stories above those shown up to the maximum. Refer to table for maximum and minimum heights.

SETBACKS—PRINCIPAL BLDG

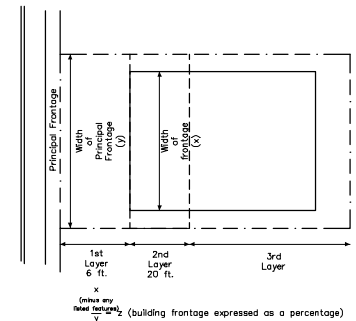
- Uncovered parking spaces may be provided within the Second and Third Lot Layers as shown in the diagram.
- Covered parking shall be provided within the Third Lot Layer as shown in the diagram. Side- or rear-entry garages may be allowed.
- Front loaded garages are not allowed in the first layer.

Note: Where grand trees exist at the principal frontage, the front setback shall begin at the limit of the protective zone.



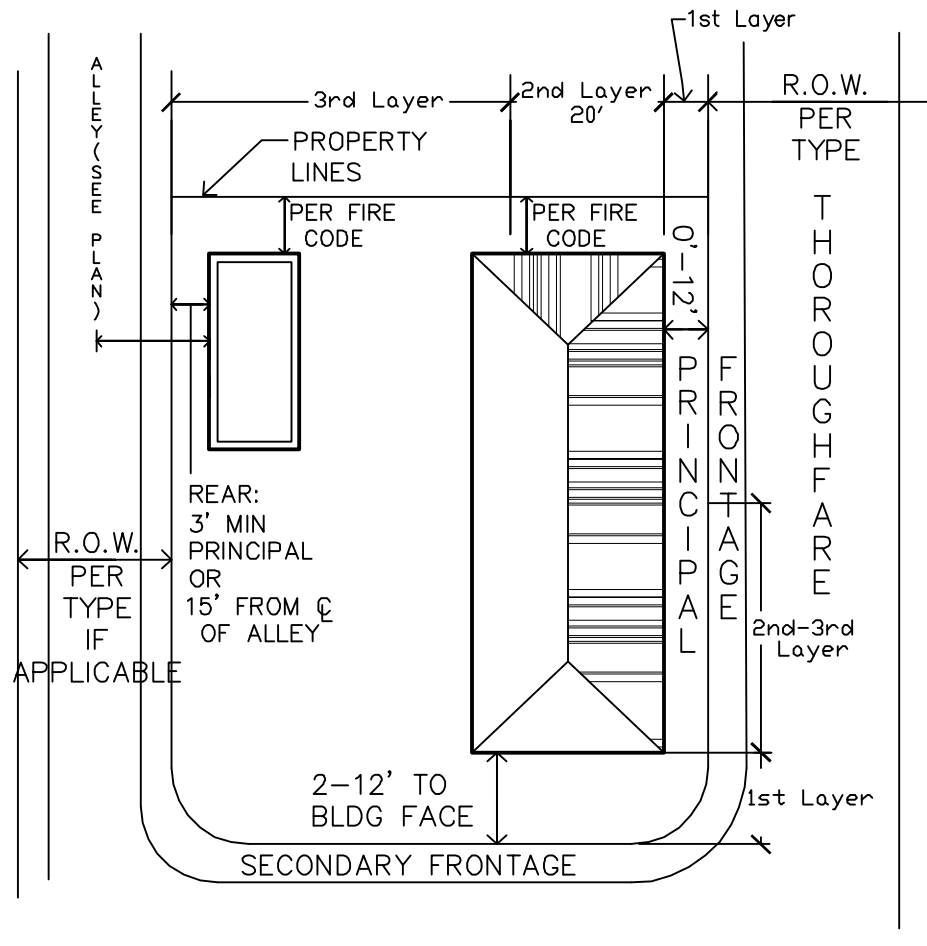
FRONTAGE BUILDOUT

- Frontage buildout shall be measured from property line to property line as it relates to the principal frontage.
- Frontage buildout shall be measured 10' into the 2nd layer.
- Frontage buildout is the ratio expressed as a percentage based on the amount of building frontage as a proportion of the width of the principal frontage. Utility easements, setbacks, driveways, grand trees (including grand tree protective zones) shall be excluded from the frontage buildout ratio calculation.



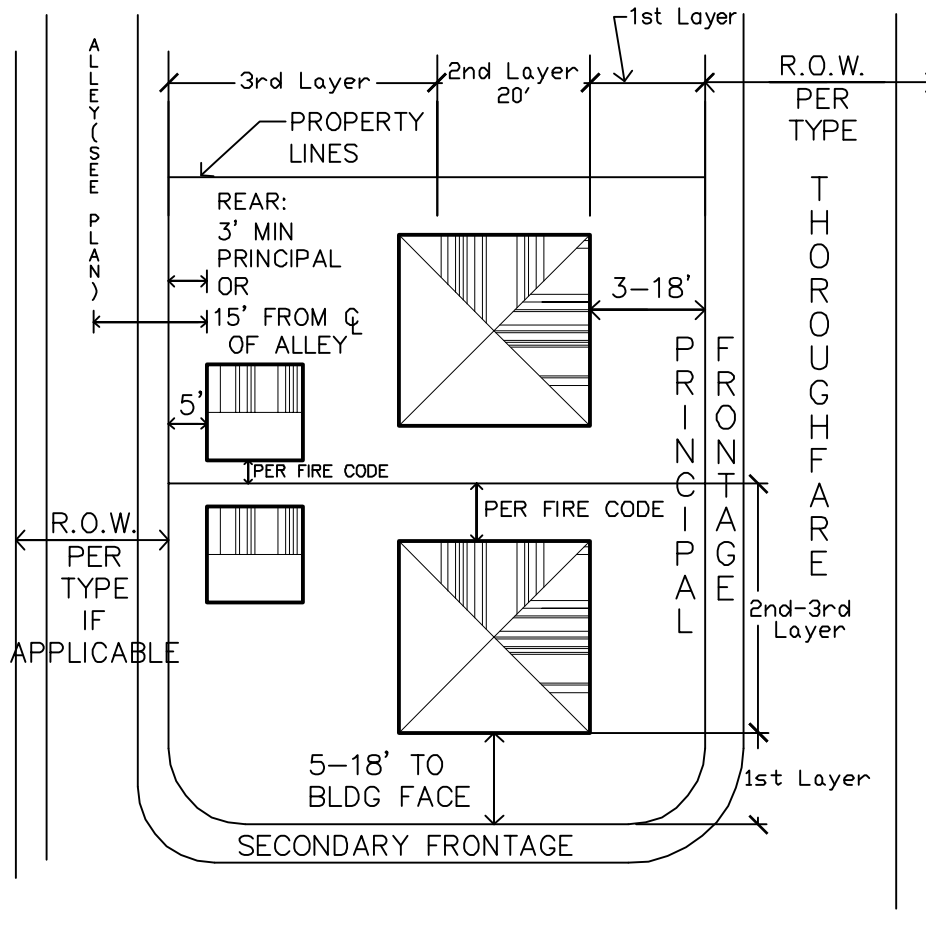
I. Thoroughfares (see tables 13-20)

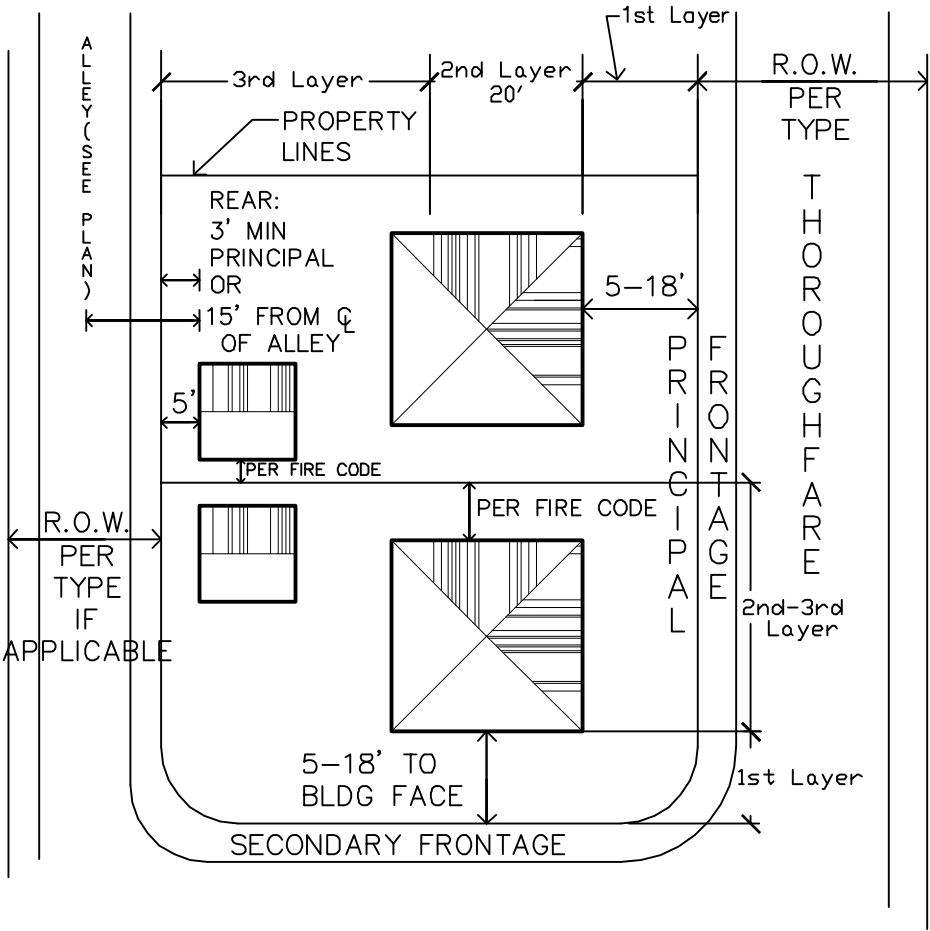
TRANSECT	OB5	OB4	OB4A	OBV	OBSD
CS-80-59	X				
ST-57-34	X	X			
ST-50-27	X	X	X	X	X
RA-20-12	X	X	X	X	X
ST-40-28		X	X	X	X
ST-32-20		X	X	X	X
PATH	X	X	X	X	X
BICYCLE TRAIL	X	X	X	X	X
BICYCLE LANE	X	X	X	X	X
BICYCLE ROUTE	X	X	X	X	X

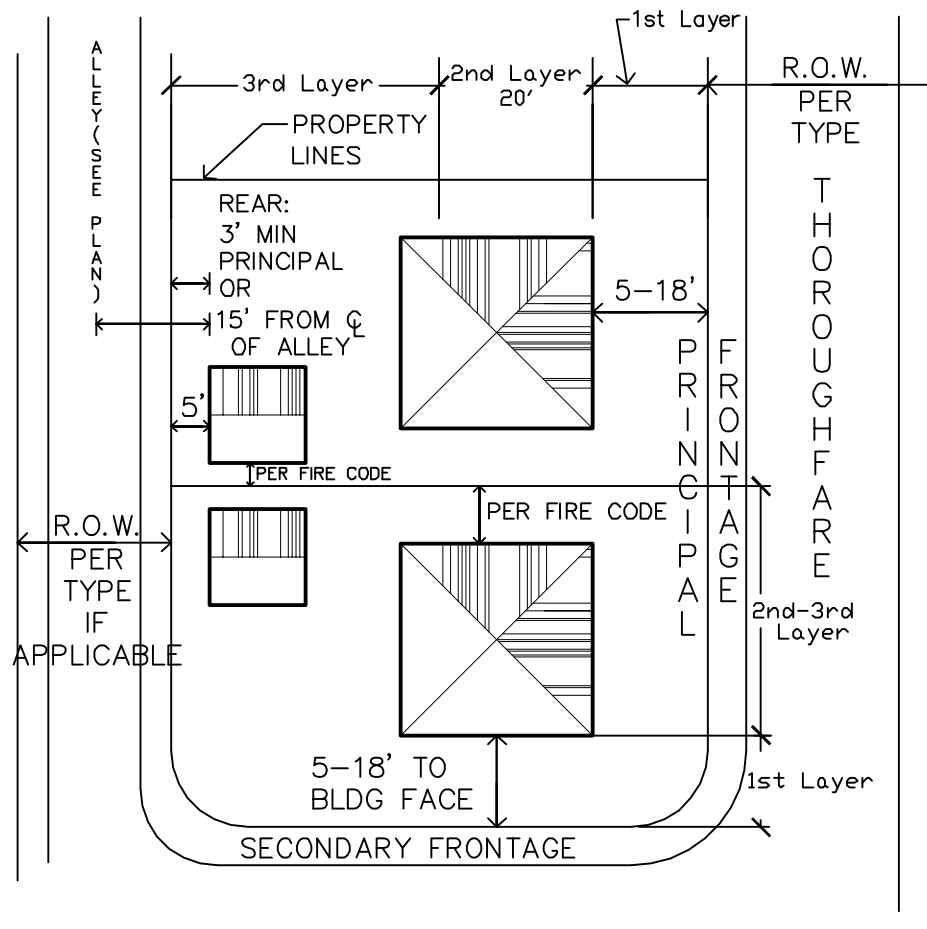


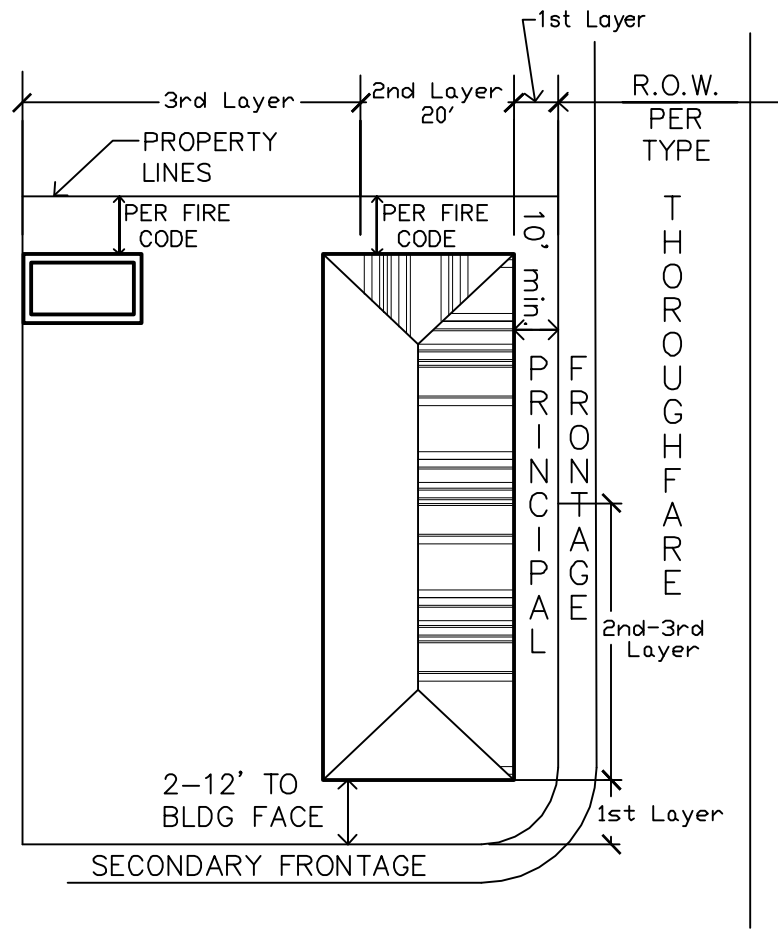
NOTE:

THE CITY OF CHARLESTON COMMERCIAL CORRIDOR REVIEW BOARD ("CCDRB") HAS REVIEW AUTHORITY AND CAN ASK FOR MODIFICATIONS TO THESE STANDARDS.









	SECTION	PLAN			
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	
a. Common Yard: A planted frontage wherein the facade is set back substantially from the frontage line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape.			OB4 OB4A OBV OBSD		
b. Porch & Fence: A planted frontage wherein the facade is set back from the frontage line with an attached porch permitted. A fence at the frontage line maintains street spatial definition. Porches should be at least 8 feet deep.			OB4 OB4A OBV		
c. Terrace or Dooryard: A frontage wherein the facade is set back from the frontage line by an elevated terrace. This type buffers residential use from urban sidewalks and removes the private yard from the public encroachment. May be used as outdoor commercial use.			OB5 OB4 OB4A OBV		
d. Forecourt: A frontage wherein a portion of the facade is close to the frontage line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated with other frontage types.			OB5 OB4 OB4A OBV OBSD		
e. Stoop: A frontage wherein the facade is aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential uses.			OB5 OBSD		
f. Shopfront: A frontage wherein the facade is aligned close to the frontage line with the building entrance at sidewalk grade. This type is appropriate for commercial use. It has substantial glazing on the sidewalk level and an awning that overlaps the sidewalk.			OB5 OB4 OB4A OBV OBSD		
g. Gallery: A frontage wherein the facade is aligned close to the frontage line with an attached cantilevered shed roof or lightweight colonnade overlapping the sidewalk. This type is appropriate for commercial use. The gallery shall be at least 8 feet wide.			OB5 OBSD		
h. Arcade: A colonnade supporting habitable space that overlaps the sidewalk above the first story, while the facade at sidewalk level remains at or behind the frontage line. This type is appropriate for commercial use. The arcade shall be at least 10 feet wide.			OB5 OBSD		

a. Edgeyard:

A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding. Specific types - single family house, cottage, villa, estate house, urban villa.



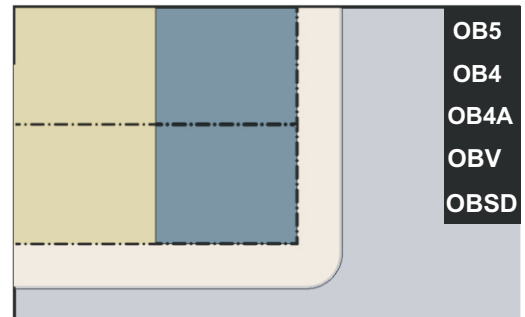
b. Sideyard:

A building that occupies one side of the lot with the setback to the other side. A shallow frontage setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. Energy costs and sometimes noise, are reduced by sharing a party wall in this disposition. Specific types-Charleston single house, double house, zero lot line house, twin.



c. Rearyard:

A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the rowhouse. For its commercial form, the rear yard can accommodate substantial parking. Specific types-Townhouse, Rowhouse, Live-Work Unit, loft building, Apartment house, Mixed use block, Flex building, perimeter block.



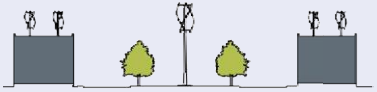



d. Courtyard:

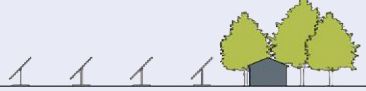
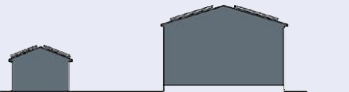

A building that occupies the boundaries of its lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. Specific types-patio house.



Sustainability - Wind Power. this table prescribes opportunities for the placement of types of wind-powered devices within the transect.

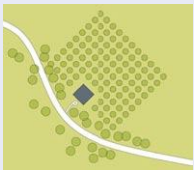

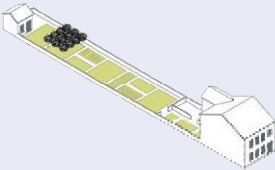
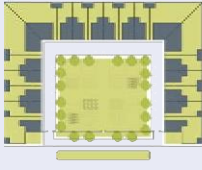
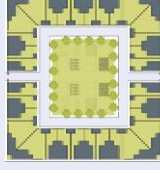
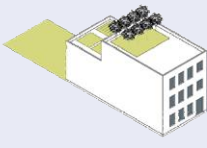
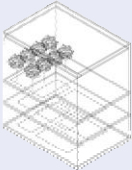
	OB 5	OB 4	OB4A	OBV	OBSD	Specifics
Wind Farm 						Wind powered devices shall not be located in public rights of way. _____ _____ _____ _____ _____
Horizontal Axis 		■	■	■		Wind powered devices shall not be located in public rights of way. _____ _____ _____ _____ _____
Vertical Axis 		■	■	■	■	Wind powered devices shall not be located in public rights of way. _____ _____ _____ _____ _____
Public Furniture 		■	■	■	■	Wind powered devices shall not be located in public rights of way. _____ _____ _____ _____ _____

Sustainability - Solar Energy. this table shows opportunities for the placement of types of solar-powered devices within the transect.

	OB 5	OB 4	OB4A	OBV	OBSD	Specifics
Solar Farm 						Solar powered devices shall not be located in public rights of way. _____ _____ _____ _____ _____
roof Mounted Solar Panels 		■	■	■	■	Solar powered devices shall not be located in public rights of way. _____ _____ _____ _____ _____
Public Furniture 		■	■	■	■	Solar powered devices shall not be located in public rights of way. _____ _____ _____ _____ _____

Note: A solar dish/engine system also utilizes collectors tracking the sun on two axes, but it concentrates the energy at the focal point of a separate dish.

Sustainability - Food Production. this table shows ways of incorporating types of food production along the transect.

	OB 5	OB 4	OB4A	OBV	OBSD	Specifics
Farm 						TO BE DETERMINED _____ _____ _____ _____ _____ _____
Agricultural Plots 						TO BE DETERMINED _____ _____ _____ _____ _____ _____
Vegetable Garden 	▪	▪	▪	▪		TO BE DETERMINED _____ _____ _____ _____ _____ _____
Urban Farm 	▪	▪	▪	▪		TO BE DETERMINED _____ _____ _____ _____ _____ _____
Community Garden 	▪	▪	▪	▪		TO BE DETERMINED _____ _____ _____ _____ _____ _____
Green roof - extensive - Semi intensive - intensive 	▪				▪	TO BE DETERMINED _____ _____ _____ _____ _____ _____
Vertical Farm 	▪	▪	▪	▪		TO BE DETERMINED _____ _____ _____ _____ _____ _____

SPECIFIC FUNCTION & PERMITTED USES

TABLE 12
OAK BLUFF

	OB5	OB4	OB4A	OBV	OBSD
a. RESIDENTIAL					
Mixed Use Block	•				
Flex Building	•	•	•		
Apartment Building	•	•	•		
Live/Work Unit	•	•	•	*	
Row House	•	•	•		
Duplex House	•	•	•	•	•
Courtyard House	•	•	•	•	
Sidyard House	•	•	•	•	
Cottage		•	•	•	
House		•	•	•	
Villa					
Accessory Unit	•	•	•	•	
Home Occupations	•	•	•	•	•
b. LODGING					
Hotel (no room limit)					
Inn (up to 12 rooms)	•	•			
Bed & Breakfast (up to 5 rooms)	•	•	•		
S.R.O. hostel	•				
School Dormitory					
c. OFFICE					
Office Building	•	•			
Live-Work Unit	•	•	•	*	
d. RETAIL					
Open-Market Building	•	•			
Retail Building	•	•	•	•	
Display Gallery	•	•	•		
Restaurant	•	•	•	•	•
Kiosk	•	•	•	•	
Push Cart	•	•	•	•	•
Liquor Selling Establishment	•	•	•	•	•
Adult Entertainment					
Dry Stack					•
Shopping Center / Mall					
Beauty/Barber/Spa Services	•	•	•		
e. CIVIC					
Bus Shelter	•	•	•	•	•
Convention Center					
Conference Center	•				
Exhibition Center					
Fountain or Public Art	•	•	•	•	
Library	•	•	•		
Live Theater	•	•	•		
Movie Theater	•				
Museum	•	•	•	•	
Outdoor Auditorium	•	•	•		
Parking Structure					
Playground	•	•	•	•	
Sports Stadium					
Surface Parking Lot	•				
Religious Assembly	•	•	•		

	OB5	OB4	OB4A	OBV	OBSD
Livestock Pen					
Greenhouse	•	•			
Stable					
Kennel	•	•			
Domestic Pet					
Veterinary & Grooming	•	•	•		
Gasoline	•				
Automobile Services					
Truck Maintenance					
Drive-Through Facility	•				
Rest Stop					
Roadside Stand	•	•	•		
Fire Station	•	•			
Police Station	•	•			
Cemetery	•	•			
Funeral Home	•	•			
Hospital	•	•			
Medical Clinic	•	•			
College					
High School	•	•			
Trade School	•				
Elementary School	•	•			
Childcare Center	•	•	•		
Heavy Industrial Facility					
Light Industrial Facility					
Truck Depot					
Laboratory Facility					
Water Supply Facility					
Pump Station	•	•	•	•	•
Electric Substation	•	•	•	•	•
Wireless Transmitter					
Cremation Facility					
Warehouse	•				
Produce Storage					
Mini-Storage					

BY RIGHT •

* Live Work unit is allowed in OBV if it is above a proposed commercial use.

VII. WORK FORCE HOUSING

The Oak Bluff PUD community will be a mixed-use and diverse community, including both market rate and affordable residential units with supporting commercial units. The Oak Bluff PUD community will provide a minimum of 10% and a maximum of 12% affordable housing units of the total residential units allowed in the PUD. Market conditions will dictate the ratio of affordable homeownership units verses affordable rental units that the developer finally delivers. Affordable housing units will be available in The Landing at Oak Bluff, and can be distributed throughout all allowed residential uses in The Landings associated districts, including senior living components. A minimum of 50% of the affordable housing units shall be delivered by the time 50% of the total residential units allowed in the PUD are delivered to the market.

The delivery of affordable housing in Oak Bluff will be coordinated through the City of Charleston Department of Housing and Community Development, or other appropriate non-profit organization. In an effort to comply with the U.S. Department of Housing and Urban Development and City of Charleston Department of Housing and Community Development definitions of ‘affordable housing’, it is currently anticipated that income levels for residents of affordable housing rental units will be calculated as 80% of the ‘Area Median Income’ based on City of Charleston Department of Housing and Community Development Income Limits. Proposed rents will be calculated as 25-33% of a resident’s income. Affordable housing ‘for-sale’ units will be available to occupants whose combined household income is no more than 120% of Area Median Income.

(Note: Area Median Income is determined annually by the U.S. Department of Housing and Urban Development, as adjusted by the City of Charleston Department of Housing and Community Development. As a result, it is subject to change.)

VIII. OFF-STREET PARKING & LOADING REQUIREMENTS

REQUIRED PARKING			SHARED PARKING FACTOR		
	OB4, OB4A, OBV	OB5, OBSD			
RESIDENTIAL	1.5 / dwelling	1.0 / dwelling	Function	with	Function
LODGING	1.0 / bedroom	1.0 / bedroom	RESIDENTIAL		RESIDENTIAL
OFFICE	3.0 / 1000 sq. ft.	2.0 / 1000 sq. ft.	LODGING		LODGING
RETAIL	4.0 / 1000 sq. ft.	3.0 / 1000 sq. ft.	OFFICE		OFFICE
			RETAIL		RETAIL

The following allowances are to be used in the Planned Unit Development:

- A. On street parking on the PUD streets shall be counted toward the minimum required parking of the specific uses.
- B. Parking requirements for the specific use shall be satisfied either along the street, on the premises or in an adjacent parking lot. On-street parking spaces shall be located within 1 block from the specific use which it serves, to be counted towards the parking requirement for that specific use.
- C. Required parking will be indicated on plans and accounted for during Subdivision Review Committee (SRC) or Technical Review Committee (TRC) approval processes.
- D. The above matrix shall be used to determine shared parking in the development. The shared parking factor for two functions, when divided into the sum of the two amounts as listed in the minimum required parking table above produces the minimum shared parking required for each site involved in the sharing.

IX. STREETS & CONNECTIVITY

The development will coordinate the pedestrian and motor traffic circulation to decrease potential conflicts and increase safety creating a usable live/work community. All uses will be connected with a series of sidewalks, crosswalks and trails throughout the development. The development will comply with the ‘*Complete Streets Policy*’ through inclusion of a network of sidewalks, on street parking to reduce vehicular speeds, rear loaded access to reduce curb cuts, access for cyclists and appropriate street tree plantings. Bicycles shall share the road with vehicles via a bicycle route. The Fire Accessibility Route Plan of the development is shown in the Exhibits section of this document.

All proposed roads will be public or private, and will be labeled on all plats as such. The intention of Oak Bluff is to use pervious surfaces where ever possible. If a road is designated as privately owned, it will be managed and maintained by the associated P.O.A.

See Tables 13 - 20: Street Types ~ pages 19 -27

STREET TYPE

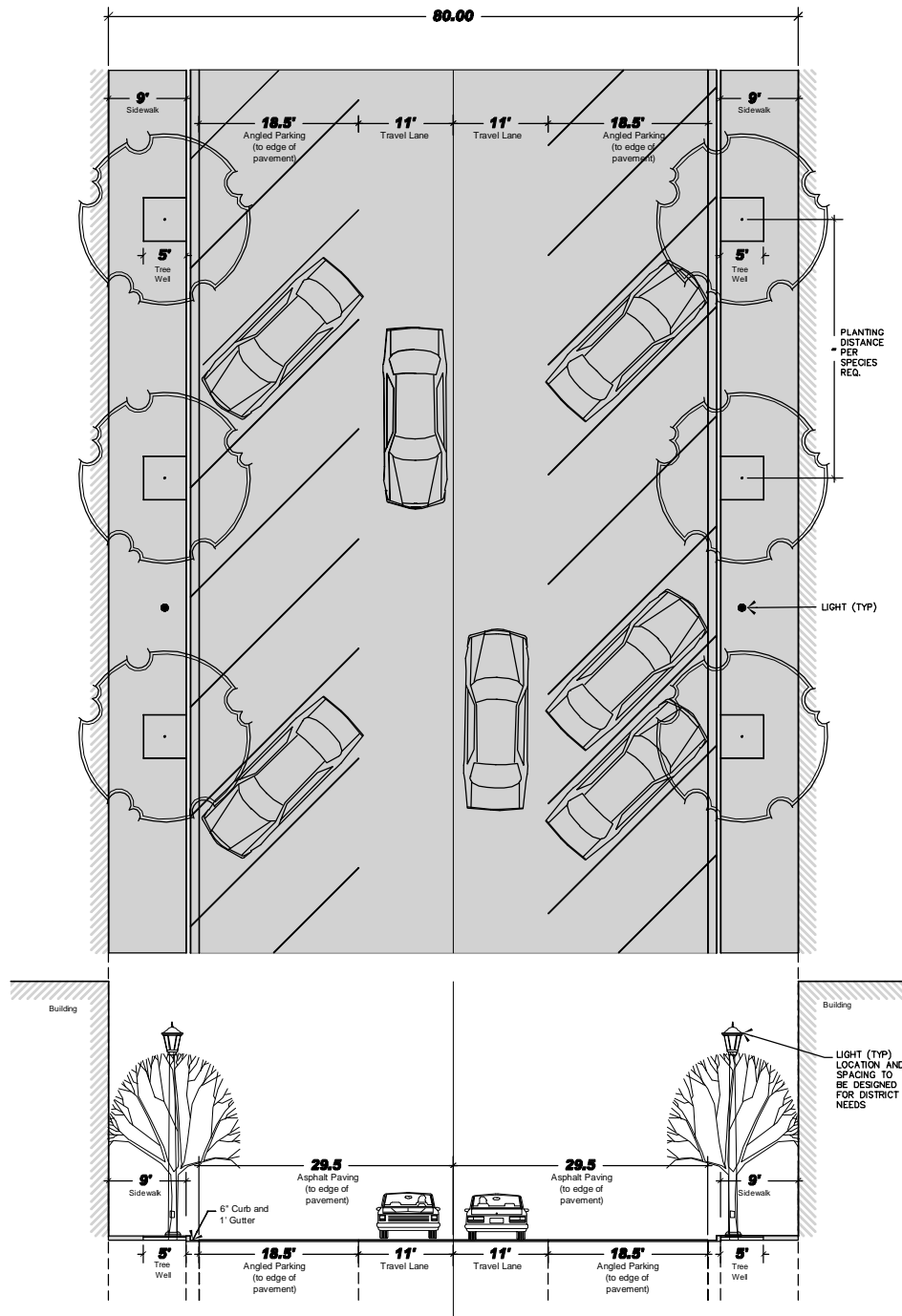
TABLE 13
OAK BLUFF

Street Type	Commercial Street	Street	Street	Street	Street	Rear Alley
Thoroughfare code	CS-80-59	ST-57-34	ST-50-27	ST-40-28	ST-32-20	RA-20-12
Thoroughfare type	Street	Street	Street	Street	Street	Alley
Land use zone	OB5	OB4,OB5	OB4,OB4A, OB5, OBV, OBSD	OB4,OB4A, OBV, OBSD	OB4,OB4A, OBV, OBSD	OB4,OB4A, OB5,OBV, OBSD
Minimum Right of Way width	80'	57'	50'	40'	32'	20'
Pavement Width	59' measured to edge of pavement ("EOP")	34' measured to EOP	27' measured to EOP	28' measured to EOP	20' measured to EOP	12' measured to EOP
Curb Radius	20'	20'	20'	20'	20'	15'
Traffic Lanes	2 Lanes	2 lane	2 lane	2 lane	2 lane	1 lane
Movement	slow	slow	slow	slow	slow	Slow
Design Speed	20-25 mph	25 mph	25 mph	25 mph	25 mph	10 mph
Pedestrian Crossing Time	7.5 seconds	5.5 seconds	5.5 seconds	5.5 seconds	4.5 seconds	4.5 Seconds
Travel Lane	11'	10'	10'	10'	10'	12'
Parking Lanes	Two sides Angled (marked) @45 or 60 degrees	Two sides 7' (marked or unmarked)	one side 7' (marked or unmarked)	one side 8' (marked or unmarked)	none	none
Sidewalk Width	9' both sides	5' both sides	5' both sides	none	none	none
Planter Type	Tree Well (5')	Continuous Planter (5')	Continuous Planter (5')	Continuous Planter (6')	Continuous Planter (6')	n/a
Curb Type	Vertical	Vertical	Vertical	None or Flat	None or Flat	No curb
Landscape Type	Regularly spaced , single or alternate species to be spaced per species requirement (if public see note)	Regularly spaced , single or alternate species to be spaced per species requirement (if public see note)	Regularly spaced , single or alternate species to be spaced per species requirement (if public see note)	Regularly spaced , single or alternate species to be spaced per species requirement (if public see note)	Regularly spaced , single or alternate species to be spaced per species requirement (if public see note)	none
Lighting Required	If public (see note)	If public (see note)	If public (see note)	If public (see note)	If public (see note)	If public (see note)
Alt. Transportation	Bicycle route (shared) If public	Bicycle route (shared) If public	Bicycle route (shared) If public	none	none	none
Road Surface	Impervious	Impervious	Impervious	Impervious or Pervious	Impervious or Pervious	Impervious or Pervious
Dedication	Public or Private	Public or Private	Public or Private	Public or Private	Public or Private	Public or Private

See page 20 for Table Notes

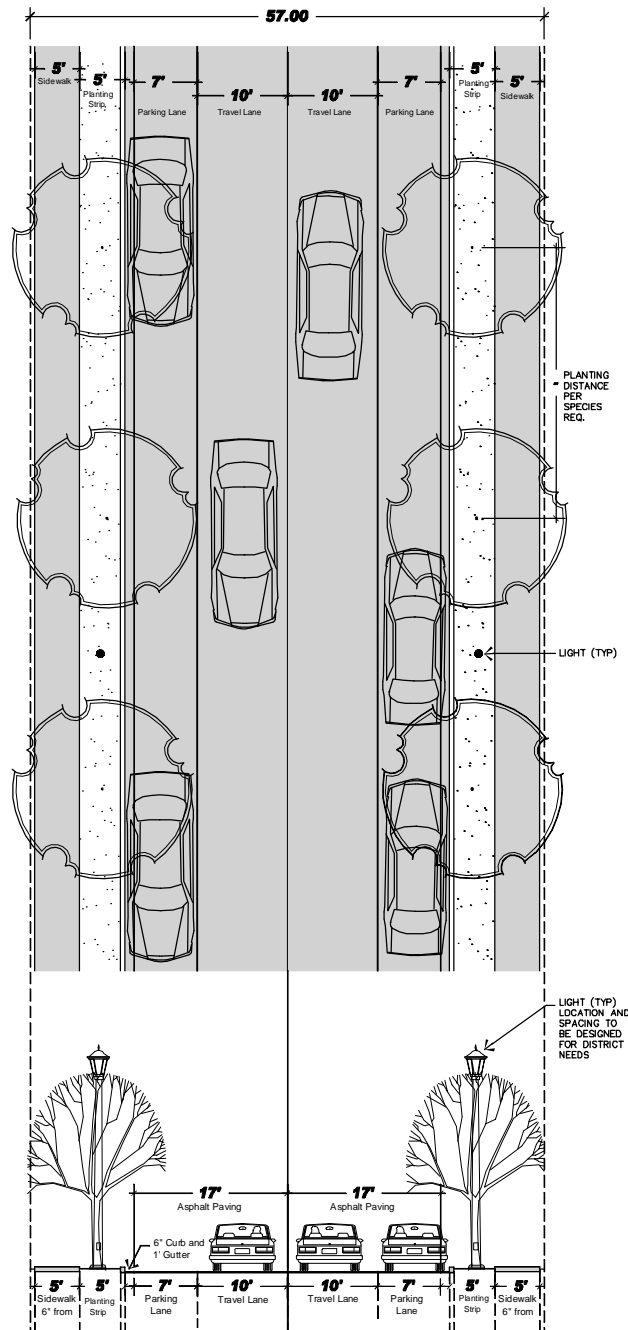
Notes:

- See Road Cross Sections for the Clements Ferry Improvements.
- All lane widths are measured to the edge of pavement("EOP"). For street types with vertical curb where the travel lane is adjacent to the curb an additional foot (1') is added to the travel lane width listed above.
- All lane widths are measured to the EOP .For street types with vertical curb where the parking lane is adjacent to the curb an additional foot (1') is added to the parking lane width listed above.
- On-street parking shall exist on streets as indicated. On street parking is not required on street sections less than 150' . Parallel spaces shall be marked or unmarked.
- On thoroughfares dedicated to the public, travel lane narrowing devices including but not limited to, curb extensions, bulbouts, neckdowns and corner bulges shall not be allowed unless approved by the City of Charleston Design Review Committee ("DRC"), but are allowed on private streets without DRC approval.
- Street types may be incorporated into a divided right-of-way design, provided that the center median includes street trees and has a minimum width of 10'.
- Street Tree details for all public streets including tree spacing, tree well location and dimensioning and planting strip location and width may vary depending on tree species and development infrastructure. Street tree details shall be reviewed and approved by the Department of Parks at construction plan submittal for Public streets. Street trees shall be installed prior to plat approval and recordation.
- Public and Private streets within the Oak Bluff PUD shall not be gated.
- Any change in right of way material on public streets is subject to the approval by the City Engineer and DRC.
- Street Trees shall be provided on all public streets. If streets are dedicated to the public then they shall meet the requirements of the City of Charleston Department of Parks street tree manual.
- On dedicated public streets lights shall meet the standards required by the City of Charleston Department of Parks. On private streets the lighting spacing shall be determined by the needs of the district.
- The back edge of the sidewalk on all streets shall be placed 6" from the right of way line, except in CS-80-59, to avoid encroachment into private property.
- Bicycle route: Bicyclist shall be allowed to share the street with motor vehicles. The use of "Sharrows" shall be discussed at Road Construction Plan review to better define the bicycle route on the streets.



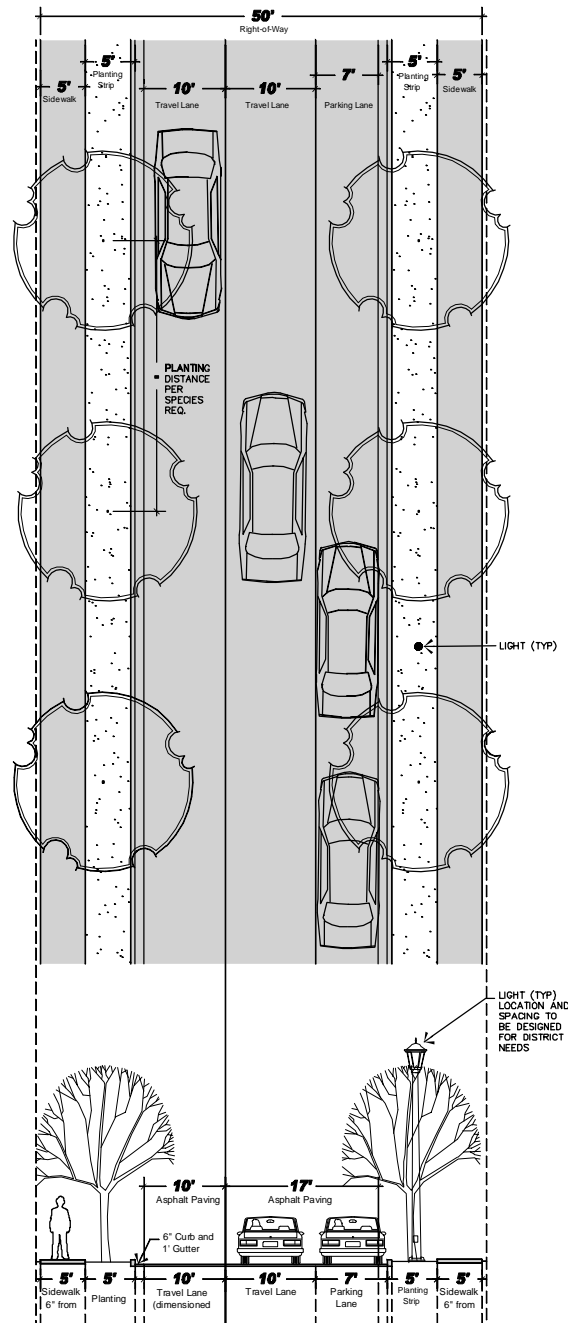
Thoroughfare Type	Commercial Street
Thoroughfare Code	CS-80-59
Land Use Zone	OB5
Minimum R-O-W width	80'
Pavement Width	59' to edge of pavement
Curb Radius	20'
Traffic Lanes	2 Lanes
Movement	Slow Movement
Vehicular Design Speed	20-25 mph
Travel Lane Width	11'
Parking Lanes	2 sides @ 45 or 60 degree angled
Sidewalk Width	9'
Planter Type	5' tree well
Road Edge Treatment	Vertical Curb
Landscape Type	Regularly spaced, single or alternate species, to be spaced per species requirement.
Lighting Required	If Public
Dedication	Public or Private
Road Surface	Impervious

Note: If roads are publicly dedicated, then street trees, lighting, and surface treatment must meet the City of Charleston Parks Department and City of Charleston Engineering Department approval.



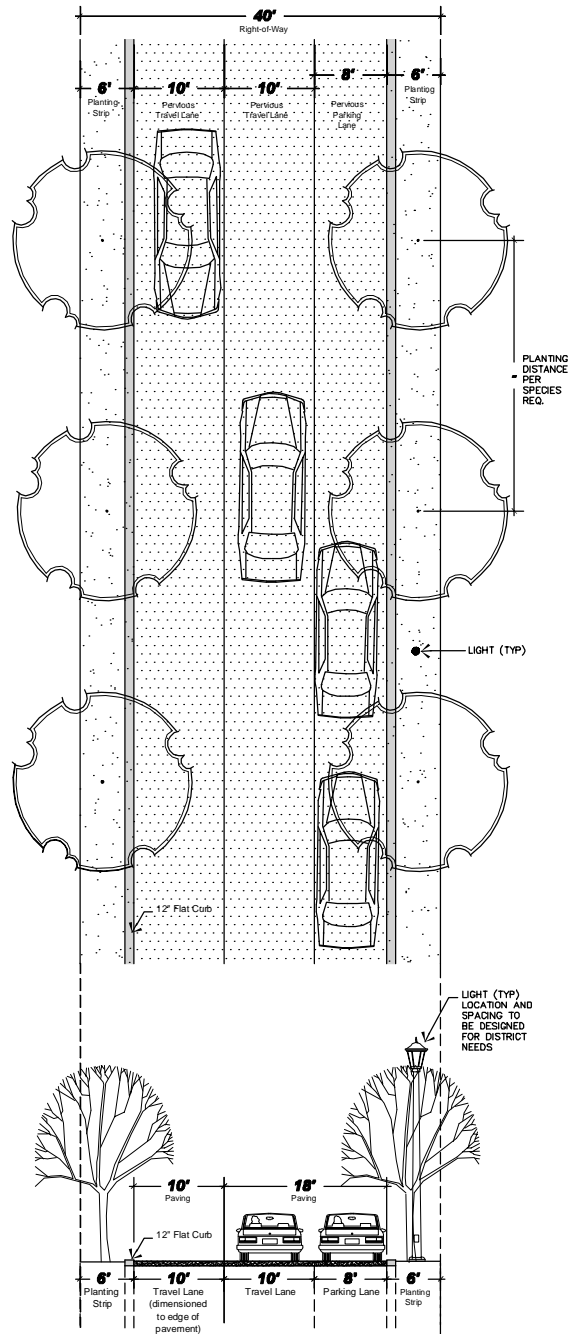
Thoroughfare Type	Street
Thoroughfare Code	ST-57-34
Land Use Zone	OB5, OB4
Minimum R-O-W width	57'
Pavement Width	34' to edge of pavement
Curb Radius	20'
Traffic Lanes	2 Lanes
Movement	Slow Movement
Vehicular Design Speed	25 mph
Travel Lane Width	10'
Parking Lanes	2 side @ 7' marked / unmarked
Sidewalk Width	5'
Planter Type	5' continuous planter
Road Edge Treatment	Vertical Curb
Landscape Type	Regularly spaced, single or alternate species, to be spaced per species requirement.
Lighting Required	If Public
Dedication	Public or Private
Road Surface	Impervious

Note: If roads are publicly dedicated, then street trees, lighting, and surface treatment must meet the City of Charleston Parks Department and City of Charleston Engineering Department approval.



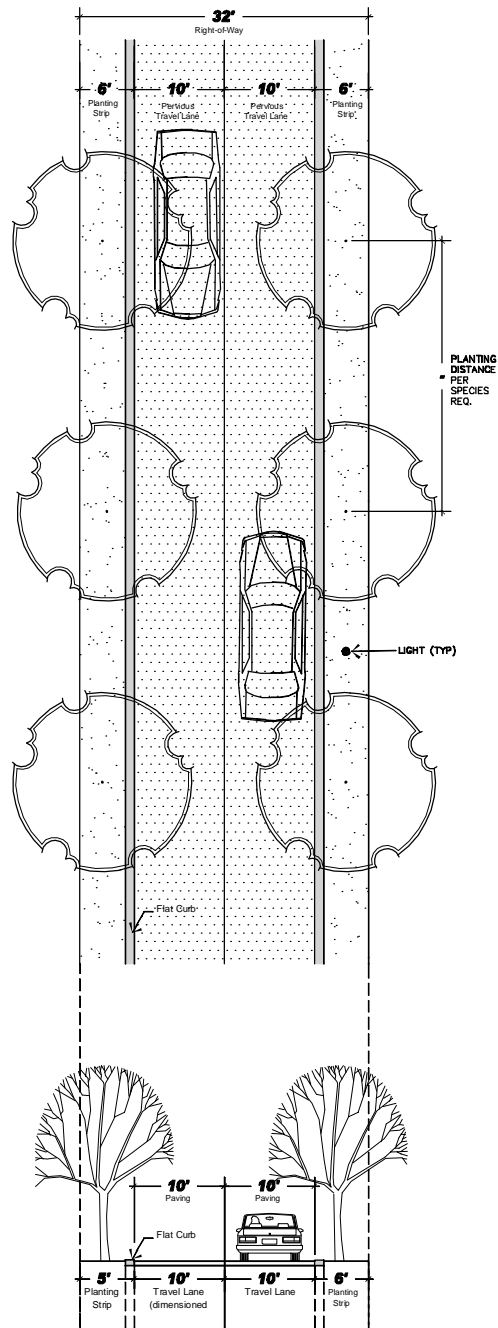
Thoroughfare Type	Street
Thoroughfare Code	ST-50-27
Land Use Zone	OB5, OB4, OB4A, OBV, OBSD
Minimum R-O-W width	50'
Pavement Width	27' to edge of pavement
Curb Radius	20'
Traffic Lanes	2 Lanes
Movement	Slow Movement
Vehicular Design Speed	25 mph
Travel Lane Width	10'
Parking Lanes	1 side @ 7' marked / unmarked
Sidewalk Width	5'
Planter Type	5' continuous planter
Road Edge Treatment	Vertical Curb
Landscape Type	Regularly spaced, single or alternate species, to be spaced per species requirement.
Lighting Required	If Public
Dedication	Public or Private
Road Surface	Impervious

Note: If roads are publicly dedicated, then street trees, lighting, and surface treatment must meet the City of Charleston Parks Department and City of Charleston Engineering Department approval.



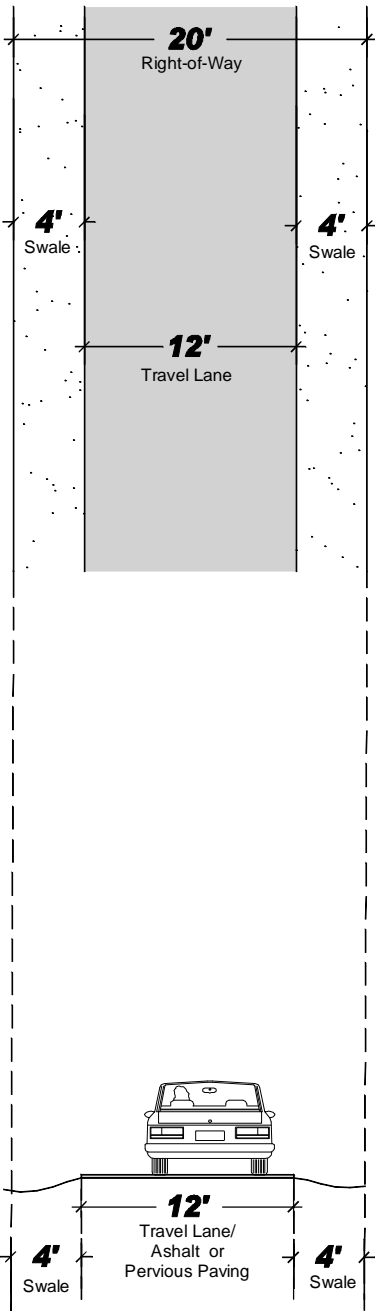
Thoroughfare Type	Street
Thoroughfare Code	ST-40-28
Land Use Zone	OB4, OB4A, OBV,OBSD
Minimum R-O-W width	40'
Pavement Width	28' to edge of pavement
Curb Radius	20'
Traffic Lanes	2 Lanes
Movement	Slow Movement
Vehicular Design Speed	25 mph
Travel Lane Width	10'
Parking Lanes	1 side @ 8' marked / unmarked
Sidewalk Width	None
Planter Type	6' continuous planter
Road Edge Treatment	None or Flat Curb
Landscape Type	Regularly or Irregularly spaced, single or alternate species, to be spaced per species requirement.
Lighting Required	If Public
Dedication	Public or Private
Road Surface	Pervious or Impervious

Note: If roads are publicly dedicated, then street trees, lighting, and surface treatment must meet the City of Charleston Parks Department and City of Charleston Engineering Department approval.



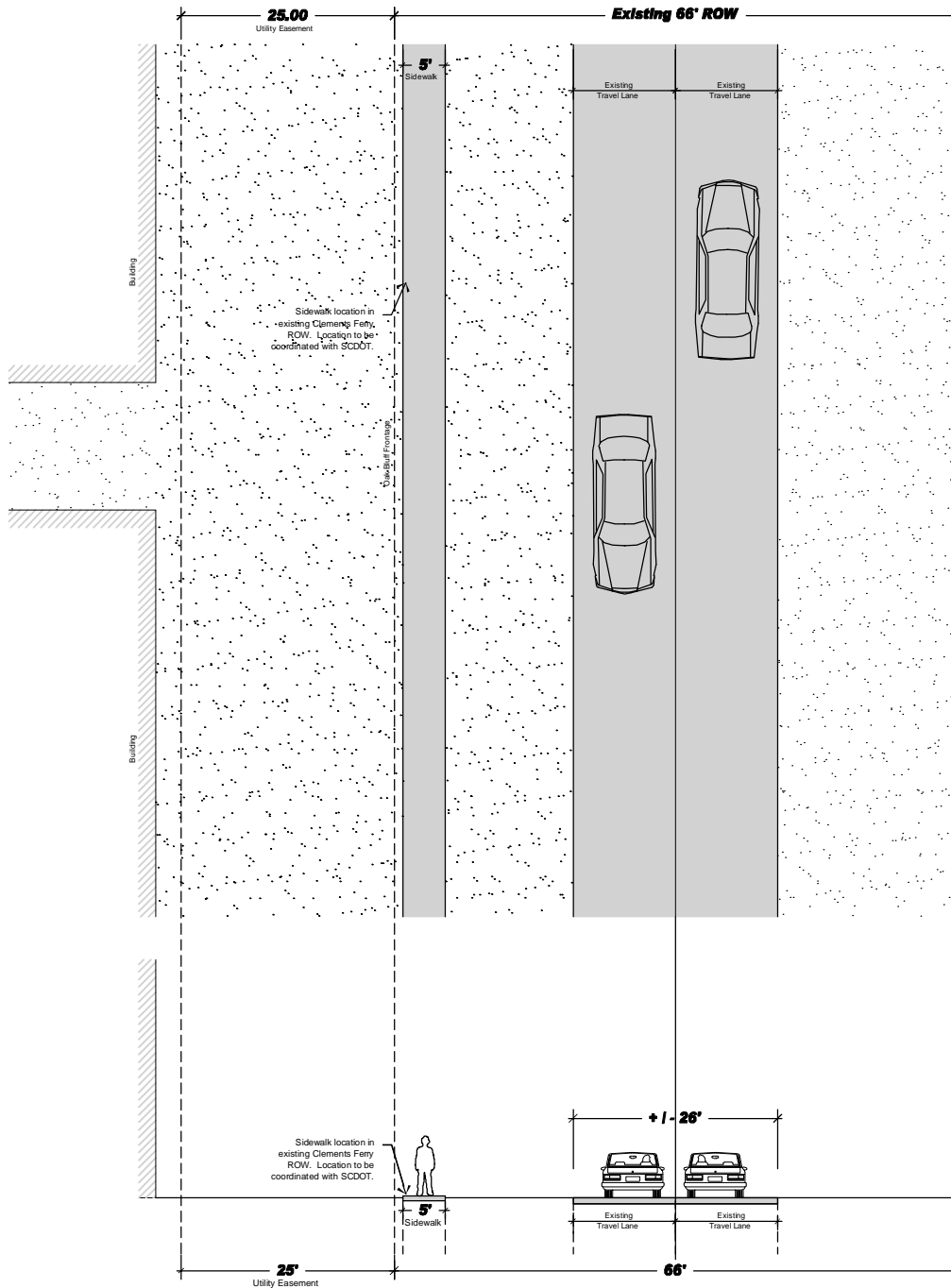
Thoroughfare Type	Street
Thoroughfare Code	ST-32-20
Land Use Zone	OB4, OB4A, OBV, OBSD
Minimum R-O-W width	32'
Pavement Width	20' to edge of pavement
Curb Radius	20'
Traffic Lanes	2 Lanes
Movement	Slow Movement
Vehicular Design Speed	25 mph
Travel Lane Width	10'
Parking Lanes	None
Sidewalk Width	None
Planter Type	6' continuous planter
Road Edge Treatment	None or Flat Curb
Landscape Type	Regularly or Irregularly spaced, single or alternate species, to be spaced per species requirement.
Lighting Required	If Public
Dedication	Public or Private
Road Surface	Pervious or Impervious

Note: If roads are publicly dedicated, then street trees, lighting, and surface treatment must meet the City of Charleston Parks Department and City of Charleston Engineering Department approval.



Thoroughfare Type	Rear Alley
Thoroughfare Code	RA-20-12
Land Use Zone	OB5, OB4, OB4A, OBV, OBSD
Minimum R-O-W width	20'
Pavement Width	12' measure to edge of pavement
Curb Radius	15'
Traffic Lanes	1 lane
Movement	Slow Movement
Vehicular Design Speed	10 mph
Travel Lane Width	12'
Parking Lanes	None
Sidewalk Width	None
Planter Type	n/a
Road Edge Treatment	No Curb
Landscape Type	None
Lighting Required	If Public
Dedication	Public or Private
Road Surface	Pervious or Impervious

Note: If roads are publicly dedicated, then street trees, lighting, and surface treatment must meet the City of Charleston Parks Department and City of Charleston Engineering Department approval.



Thoroughfare Type	Existing Clements Ferry
Thoroughfare Code	N/A
Land Use Zone	Adjacent to OB5
Minimum R-O-W width	66' (existing)
Pavement Width	+ / - 26'
Curb Radius	N/A
Traffic Lanes	2 Lanes (existing)
Movement	N/A
Vehicular Design Speed	35 / 45 mph
Travel Lane Width	+ / - 12'
Parking Lanes	N/A
Sidewalk Width	5'
Planter Type	N/A
Road Edge Treatment	None (existing)
Landscape Type	N/A
Lighting Required	N/A
Dedication	Public
Road Surface	Asphalt (existing)

Note: If roads are publicly dedicated, then street trees, lighting, and surface treatment must meet the City of Charleston Parks Department and City of Charleston Engineering Department approval.

X. TRAFFIC IMPACTS

A Traffic Impact and Access Study (TIAS) for the proposed development was prepared by SRS Engineering, LLC to assess the traffic impacts and evaluate the ingress and egress requirements for the project. The development will coordinate with the South Carolina Department of Transportation (SCDOT) and the City of Charleston Department of Traffic & Transportation, as well as comply with all SCDOT mitigation listed in the development's traffic study.

XI. PEDESTRIAN CONNECTIVITY

Oak Bluff is intended to be a pedestrian friendly walk-able community with a sidewalk network along the streets that interconnects each land use and provides access to all uses throughout the community. A well planned trail system will connect all open spaces and districts. The connection between The Landing and The Village will be a minimum 5' width pedestrian boardwalk with necessary maneuvering areas, as compliant with the ADA and subject to OCRM and US Army Corps of Engineers permitting regulations. Other bridge related amenities will be provided as permissible. Rules and regulations regarding bridge traffic will be addressed in the appropriate POA Covenants and Restrictions. The pedestrian connection will be established no later than the time 50% of the total residential units allowed in the PUD are delivered to the market. Not only do the trails and sidewalks provide internal interconnection between community uses, but these systems also connect the proposed neighborhood to the larger community by providing connection points to tie to future sidewalks and roadway improvements.

XII. ARCHAEOLOGICAL & CULTURAL RESOURCES

The management of historic cultural resources will be accomplished through coordination with the State Historic Preservation Office (SHPO), the reviewing agency for the state and federal regulatory agencies. A cultural resources survey of the tract is required by the SHPO as part of our requirements for OCRM and/or US Army Corps of Engineers permitting. We have contracted with Brockington and Associates, Inc. of Mt. Pleasant to conduct the survey and prepare all needed documentation.

The Intensive Cultural Resources Survey (of the 'Farm Hill' Tract) is still in *Draft* form and available under separate cover. The report needs to be updated to reflect the proposed 'Oak Bluff' PUD details as submitted to the City in this document. Additionally, there has already been extensive research conducted in the area over

the years. As a result, several archaeological sites have been previously recorded on the tract. The latest Brockington research (as discussed in the report) identifies all five previously recorded sites and identifies three unrecorded sites. Based on their results of the initial survey, of the eight identified sites, two sites (38BK265 and 38BK267/1785) are recommended as potentially eligible for the National Register of Historic Places (NRHP). The sites determined not eligible for the NRHP will require no additional management. Both potentially eligible sites involve discovery of artifacts scattered in areas previously not surveyed. These sites will require additional discovery procedures. If determined eligible they will require management, and this will be addressed in the resulting MOA. While the McDowell Cemetery located on the upper project area is an outparcel, as neighbors we will work with the owners to ensure that the cemetery is protected and that access to the cemetery is maintained.

It is already known that the Mary Lesesne House (circa 1790), listed on the NRHP only as a contributing element of the Cainhoy Historic District, not individually eligible, stands in the lower project area. The house is in somewhat poor condition, and we plan to renovate and preserve the house in its present location in such a way that it can be enjoyed by everyone for years to come while still reflecting its primary historic elements. The house is intended to have a commercial use and it is agreed that the City of Charleston Board of Architectural Review (BAR) will have purview over the structure due to the City of Charleston Historic Landmark Overlay (LMK) district following the existing NRHP Cainhoy Historic District boundary. BAR shall have purview over all structures within this district except single family residential.

These tasks will result in the coordination and development of a Memorandum of Agreement for the project. The MOA will establish the process by which potential effects to significant cultural resources will be avoided, minimized, or mitigated. The MOA will contain clauses to address late discoveries, dispute resolution, and amendments.

XIII. COMMON OPEN SPACE

Common open space will be provided and is intended for beautification and enjoyment of development, and will be accessible to the residents of Oak Bluff community and the general public, with some exceptions being allowed for certain open space amenities, which will be designated for the use of Oak Bluff residents only. The space is intended for outdoor recreational and leisure uses, such as but not limited to seating areas, walking & biking trails, playing fields, and waterfront access.



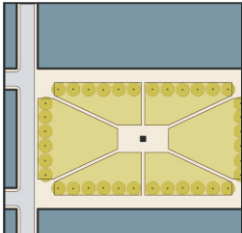
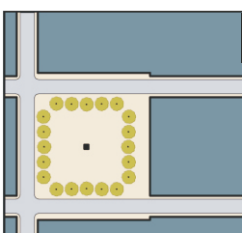
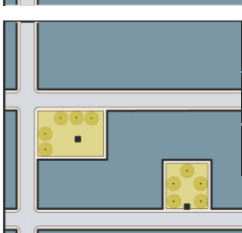
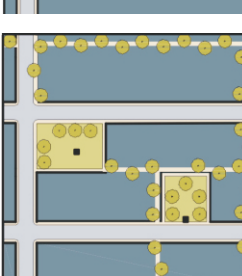
The community open space shall constitute a minimum of twenty percent (20%) of the gross acreage of the site. Of the 20% designated for open space, fifty percent (50%) must be in the form of maintained usable open space. Usable open space is any open space used for passive or active recreation. All open space improvements and corresponding details shall be approved by the City of Charleston Zoning Director (or his appointed designee) at the time of construction plan review. Site plans and all outdoor space improvements, except amenity centers, must be completed prior to issuance of any Certificates of Occupancy for land use areas that do not contain public roads and prior to final plat approval for land use areas that do contain public roads, unless the open space is to be accepted by the City of Charleston. All open space must be identified as to type and the size of each must be delineated at the Preliminary Plat and Road Construction Plan approval level submittal of each phase. All amenities/improvements that incorporate a non-residential structure greater than 500 square feet must receive TRC approval for the improvement. The development shall incorporate at least two (2) types of open space. A maximum of 15% of the usable open space can be utilized for parking. One hundred percent (100%) of parking provided within open spaces may be pervious surfaces utilizing slag, gravel, ROC, grasscrete or similar pervious material, subject to site plan approval. These pervious parking areas may be counted towards the open space area and usable space area for the development.

Certain open space within Oak Bluff may be appropriate to be designated as a City of Charleston Park. If desired, those open spaces can be negotiated with terms to be determined at time of development.

The common open space shall be owned and managed by a Property Owner's Association(s) or other similar legal entity formed for such purpose. The conveyance of title shall include Restrictive Covenants that restrict these areas to open space and recreational uses and will be recorded with the plat. Restrictive Covenants created by any Oak Bluff associated POA shall determine and outline the rules and regulations of any associated open space or park.

The common open space areas of the development are detailed on the Conceptual Open Space Plan Exhibit. Table 21 provides the open spaces types that are permitted in Oak Bluff.

See Table 21: Open Spaces ~ page 31

<p>a. Park: A natural preserve available for structured or unstructured recreation. A park may be independent of surrounding building frontages. Its landscape shall consist of Paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Parks may be lineal following the trajectories of natural corridors. The <i>minimum</i> size shall be 1 acres.</p>	 <div data-bbox="1356 176 1476 409"> OB5 OB4 OB4A OBV OBSD </div>
<p>b. Green : An Open Space available for structured or unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. There is no minimum size and the maximum size shall be 8 acres.</p>	 <div data-bbox="1356 430 1476 661"> OB5 OB4 OB4A OBV OBSD </div>
<p>c. Square: An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns, and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. There is no minimum size and the maximum shall be 5 acres.</p>	 <div data-bbox="1356 682 1476 913"> OB5 OB4 OB4A OBV OBSD </div>
<p>d. Plaza: An Open Space available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas should be located at the intersection of important streets. The minimum size shall be 1,000 SF and the maximum shall be 1 acre.</p>	 <div data-bbox="1356 934 1476 1165"> OB5 </div>
<p>e. Playground: An Open Space designed and equipped for the recreation of children. A playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.</p>	 <div data-bbox="1356 1186 1476 1417"> OB4 OB4A OBV </div>
<p>f. Greenway: A Linear Open Space that is planned, designed and managed for ecological, recreational, cultural and aesthetic purposes. Greenways may be placed within a block located to the rear of lots or run along boundaries. Greenways shall provide connections between open spaces and serve to connect specific internal destinations or provide as external pedestrian connections. The landscape of the Greenway shall consist of naturalistic scenic trails and bikeways, landscaping, and off street facilities for bikes and other non-motorized vehicles. Trails shall be a minimum of 6' wide and the Easement for the greenways shall be a minimum of 20' in width. The material for the Greenway shall be determined by context and intended user, i.e. pedestrian trails vs. pedestrian / bicycle trails.</p>	 <div data-bbox="1356 1438 1476 1711"> OB5 OB4 OB4A OBV OBSD </div>
<p>g. Conservation: Open space designated specifically for the preservation of natural, undeveloped regions. Conservation area shall serve the sole purpose of protecting unique or ecologically valuable habitats and vegetation, rather than existing simply as spaces between areas of development; Be a minimum of five thousand (5,000) contiguous square feet.</p>	<div data-bbox="1356 1816 1476 2032"> OB5 OB4 OB4A OBV OBSD </div>

XIV. SCREENING, BUFFERS & LANDSCAPING

Vegetative screening shall be provided in commercial areas adjoining residential development. Existing vegetation will be preserved wherever possible for screening. In the event the existing natural vegetation of the site does not provide sufficient intended screening, additional landscape planting will be added where necessary per the planting standards listed in Article 3 – Part 8 Landscape Buffer Requirements of the City of Charleston Zoning Ordinance

All efforts will be taken to preserve and enhance the natural buffers and compliment the natural surroundings of the Cainhoy community. Buffer plantings of trees, shrubs and native grasses shall be chosen to compliment the architecture and enhance view corridors. Planting of native vegetation will be strongly encouraged. The use of exotic decorative plants will be discouraged and invasive plants will be avoided all together. The existing ecology of the subject area will be studied and an appropriate variety of native plant material will be selected to meet the standards of the buffer planting.

All land use buffers not otherwise described below shall remain natural unless determined to be lacking in proper screening or a planted buffer is requested by City of Charleston staff. In such cases, a planting schedule based on the requirements of the Zoning Ordinance for the buffer type as defined below and the biotic conditions of the buffer shall be prepared and approved by the City of Charleston Zoning Administrator.

- No external land use buffers shall be required between compatible land uses or zonings.
- A 25' buffer type 'D' (as defined in section 54-348 of the Zoning Ordinance) will be provided between incompatible land uses on the western boundary of the property.
- There shall be no buffer requirement along the Clements Ferry Road corridor due to the urbanized nature of the commercial village proposed along the frontage of the property. A sidewalk shall be located along the Clements Ferry Road frontage, see Table 20. Its location shall be coordinated with SCDOT.
- Critical Line Buffers located along the eastern boundary of the property shall have the noted minimum and average depths (as consistent with the US Army Corps of Engineers methodology) depending on the associated land use. Although these buffers shall remain primarily in their natural state, some vegetative augmentation shall be permissible. Previous community walking trails and bio

retention swales shall be allowed within the buffer areas. Setbacks shall run concurrent with noted buffers.

- Where buffer depths are proposed below the average width, an engineer or landscape architect licensed in the State of South Carolina shall demonstrate that there will be no greater impact on water quality than the impact that would occur had the wider buffer been in place. Conditions noted in Section 54-513 (a. and b.) shall be provided during the TRC or SRC Preliminary Plat review.

Residential Uses in OB4 and OB4A

15' minimum depth

25' average depth

Commercial uses in OB5, OB4 and OB4A

25' minimum depth

40' average

- Waterfront Critical Line Buffers along the southern portion of the property adjacent to the Wando River (as noted on the Conceptual Land Use exhibit) shall maintain the existing “open” condition of the waterfront, as it is considered an integral part of the visual character of the property. Therefore, there shall not be a vegetative requirement for this existing area. Additionally, Public access shall be provided in this zone in the form of walkways, boardwalks, trellises and other hard-scape features approved by the City of Charleston Zoning Administrator.
- Waterfront visual setbacks shall be maintained in order to preserve the existing character. No vertical structures (excluding arbors, trellises and decks) shall be erected forward of the Lesesne House within an area directly in front of, and within 100' extending from either side of the front of the existing structure. Temporary structures associated with community events shall be allowed.

All landscaping design for the development, not otherwise addressed in the PUD document, shall comply with the City of Charleston Zoning Ordinance

XV. TREE PROTECTION & PRESERVATION

A tree and topographic survey is provided in the exhibits section of this document (See the Existing Conditions Exhibit). Tree protection and preservation shall meet all the requirements of Article 3 – Part 6 of the Zoning Ordinance. Any request for removal or encroachment of a Grand Tree (as defined in the Zoning Ordinance) will comply with the Zoning Ordinance. A local Certified Arborist will be hired to

evaluate the health and condition of all Grand Trees on the site and a report will be provided to the City of Charleston Planning Staff at the time of submission of the construction drawings. The development will make every effort to save as many of the Grand Trees as possible.

XVI. DRAINAGE BASIN ANALYSIS

Flood Zones: The flood zones for the project area consist of Zone AE (Elev.=11'), Zone X* (Shaded), and Zone X as per FEMA's Flood Insurance Rate Map (FIRM) panel #45015C0737D, dated October 16, 2003. Based on this information it is recommended that all building finish floor elevations be set to no less than an elevation of 12-feet (Datum NGVD 29). *The Landing at Oak Bluff* area lies primarily in Zone X with the perimeter in Zone's X* and AE. The *Oak Bluff Village* area lies in Zone X* and AE.

Stormwater: All storm drainage systems shall be constructed in accordance with the South Carolina Ocean & Coastal Resource Management and Department of Health and Environmental Control (SC OCRM/DHEC) guidelines, as well as comply with City of Charleston's Stormwater Design Standards Manual, the MS4 program (Municipal Separate Storm Sewer System) and Zoning Ordinances. Both the upper and lower project sites will be developed using the latest technology in hydrologic stormwater quality treatment using current Best Management Practices (BMP's) as accepted by local and state agencies. The BMP's may consist of various combinations of "green initiatives", such as vegetated bioswales, pervious pavement, soil infiltration methods, underground detention chambers, wet ponds, pond aeration systems, etc. It shall be the responsibility of the P.O.A. to own and maintain all such stormwater systems onsite, and there will be a Stormwater Maintenance and Responsibility Agreement created specific to Oak Bluff.

See table 22: Sustainability – Light Imprint Storm Drainage Matrix ~ page 35

	OB 5	OB 4	OB4A	OBV	OBSD	Maint.	Cost
a. PAVING							
Compacted Earth						L	\$
Wood Planks		■	■	■	■	H	\$\$\$
Plastic Mesh/Geomat	■	■	■	■	■	L	\$
Crushed Stone/Shell	■	■	■	■	■	M	\$
Cast/Pressed Concrete Paver Block	■			■	■	L	\$\$
Grassed Cellular Plastic	■	■	■	■	■	M	\$\$\$
Grassed Cellular Concrete	■	■	■	■	■	M	\$\$\$
Pervious Asphalt	■	■	■	■	■	L	\$\$
Asphalt	■	■	■	■	■	L	\$
Concrete	■	■	■	■	■	L	\$\$
Pervious Concrete	■	■	■	■	■	L	\$\$
Stamped Asphalt	■	■	■	■	■	L	\$\$\$
Stamped Concrete	■	■	■	■	■	L	\$\$\$
Pea gravel	■		■	■	■	M	\$
Stone/Masonry Paving Blocks	■		■	■	■	L	\$\$\$
Wood Paving Blocks on Concrete	■	■	■	■	■	L	\$\$\$
Asphalt Paving Blocks	■	■	■	■	■	M	\$\$
b. CHANNELING							
natural Creek	■	■	■	■	■	L	\$
Terracing	■	■	■	■	■	L	\$\$
Vegetative Swale	■	■	■	■	■	L	\$
Drainage Ditch	■	■	■	■	■	L	\$
Stone/Rip Rap Channels	■	■	■	■	■	L	\$\$
Vegetative/Stone Swale	■	■	■	■	■	L	\$
Grassed Cellular Plastic	■	■	■	■	■	M	\$\$\$
Grassed Cellular Concrete	■	■	■	■	■	M	\$\$\$
Soakaway Trench						M	\$\$\$
Slope Avenue	■	■	■	■	■	M	\$\$\$
French Drain	■	■	■	■	■	M	\$
Shallow Channel/Footpath/Rainwater Conveyor	■	■	■	■	■	L	\$
Concrete Pipe	■	■	■	■	■	L	\$\$
gutter	■	■	■	■	■	L	\$\$
Planting Strip Trench	■	■	■	■	■	L	\$
c. STORAGE							
Irrigation Pond	■	■	■	■	■	L	\$
Retention Basin with Sloping Bank	■		■	■	■	L	\$\$
Retention Basin with Fence	■	■	■	■	■	L	\$\$
Retention hollow	■	■	■	■	■	L	\$
Detention Pond	■	■	■	■	■	L	\$
Vegetative Purification Bed	■	■	■	■	■	M	\$\$
Flowing Park	■	■	■	■	■	M	\$\$
Retention Pond	■	■	■	■	■	M	\$\$
Landscaped Tree Well	■	■	■	■	■	L	\$\$
Fountain	■					H	\$\$\$
Underground Vault/Pipe/Cistern-Corrugated Metal	■				■	L	\$\$
Underground Vault/Pipe/Cistern-Precast Concrete	■				■	L	\$\$
Underground Vault/Pipe/Cistern-Cast in place Concrete	■				■	L	\$\$
grated Tree Well	■					L	\$\$
Underground Vault/Pipe/Cistern-Plastic	■				■	L	\$\$\$
						M	\$\$\$
d. FILTRATION							
Wetland/Swamp	■	■	■	■	■	L	\$
Filtration Ponds	■	■	■	■	■	L	\$\$
Shallow Marsh	■	■	■	■	■	M	\$
Surface Landscape	■	■	■	■	■	L	\$
Natural Vegetation	■	■	■	■	■	L	\$
Constructed Wetland	■	■	■	■	■	M	\$
Bio-Retention Swale	■	■	■	■	■	M	\$\$
Purification Biotope	■	■	■	■	■	H	\$\$
Roof garden	■	■	■	■	■	L	\$\$\$
Rain garden	■	■	■	■	■	M	\$\$
Detention Pond	■	■	■	■	■	L	\$
Grassed Cellular Plastic	■	■	■	■	■	M	\$\$\$
Grassed Cellular Concrete	■	■	■	■	■	M	\$\$\$
Waterscapes	■	■	■	■	■	H	\$\$\$
*NOTE - Maintenance is denoted as L=Low, M=Medium and H=High. \$ and L-low cost. \$\$ and M-median cost. \$\$\$ and H-high cost.							

XVII. WATER & SANITARY SEWER SYSTEMS

The potable water and sanitary sewer for the project will be served by Charleston Water System (CWS). There are an existing 30" DIP water main and a 12" HDPE sanitary sewer force main that are routed within the Clements Ferry Road right-of-way. There is no existing potable water or sanitary sewer mains that extend the entire length of Cainhoy Village Road, a short run of 8" DIP water main extends approximately halfway down Cainhoy Village Road, but is not extended far enough to serve the lower site area. New potable water mains and sanitary sewer will be constructed to serve both project site areas and will cross the marsh separating the two. A sanitary sewer pump station will be required to service both project sites via new gravity sewer main lines. The pump station is proposed to be located in the lower development area, near the northern property line, next to the SCE&G easement (subject to civil engineering), as shown on the Conceptual Land Use Exhibit of this document, and the effluent will then be pumped via a new forcemain line to be tied directly into the existing CWS 12" forcemain, which runs along Clements Ferry Road. Potable water will be branched off of the existing 30" water main at Clements Ferry Road to serve the site.

XVIII. UTILITIES & PUBLIC SERVICES

All gas and electric services will be provided by South Carolina Electric & Gas (SCE&G).

Fire and police services shall be provided by the local governmental entity. The development shall meet all applicable building and fire codes as adopted by the City of Charleston.

Mail box locations shall be coordinated with the US Postal Service, ADA and FHA (where applicable) guidelines.

Utility easements shall not be allowed in the front setback of the OB5 district or for the OB4 and OB4A uses utilizing the minimum allowed setback (3' and 5' respectively). Utilities shall either be located in a shared utility easement provided in the adjacent Right-of-Way or be located behind the principal building in the third layer as defined by this article (see Table 23 'e' and 'f').

XIX. ARCHITECTURAL REQUIREMENTS

Commercial architectural design for the development shall comply with Article 2 – Part 11: Commercial Corridor Design Review Board (CCDRB) of the Zoning Ordinance. The OB5 and OBSD districts of the development shall be under the CCDRB review, as well as any uses considered commercial allowed in the OB4 districts. Continuing Care Retirement Community uses allowed in the OB4 districts shall be under the CCDRB review. Commercial structures located in the City LMK district shall be under BAR review. The architectural style of the development as a whole is to compliment and enhance the Lowcountry setting of the Cainhoy Village area. All structures within the development shall utilize this architectural theme and shall be designed to scale to create a harmonious whole. The use of different design elements and materials should be encouraged, as well as the effect of creative landscaping to avoid creating a monotonous urban-like development. In keeping with this theme, proportion, form and exterior elements, such as roof pitches, overhangs, colors and materials shall be consistent with a Lowcountry style vernacular. All buildings, commercial and residential, should be encouraged to use every effort to incorporate sustainable ‘green’ building techniques.

XX. DEVELOPMENT SIGNAGE

Design and placement of signage for the project will be in accordance with Article 4 Sign Regulations of the City of Charleston Zoning Ordinance, and conform to Section 54-414: Regulations for Signs within a Gathering Place District. Master Development signage shall be allowed for Oak Bluff PUD at the accesses into the development from Clements Ferry Road. Additional Master Development signage for Oak Bluff Village is allowed at the 50’ Right-of-Way easement into the development off of Cainhoy Village Road.

Additionally, all development signage, including its lighting, shall be designed to compliment the architecture and enhance the overall aesthetics of the site. All development signage shall be constructed of materials which are equal in quality, appearance, and complimentary to the principal structure, as well as use similar design elements to create a harmony of style. Any required sign easements shall be provided on the construction review documents and on all plats required for the development.

XXI. A.D.A. COMPLIANCE

It is intended any accessibility component address in the Oak Bluff PUD shall be compliant with the guidelines and regulations of the Americans with Disabilities Act.

XXII. AREAS DESIGNATED FOR FUTURE USE

All areas not intended for immediate improvement or development or designated for future expansion shall remain in a natural state until such time as development permits are approved.

XXIII. ADDITIONAL DEFINITIONS

Lot Occupancy: Shall be defined as the area of the lot occupied by a structure either principal or secondary, not including impervious surfaces.

Horizontal Axis (Wind Power): Have the main rotor shaft and electrical generator at the top of a tower, and must be pointed into the wind, this requires the rotor to turn to face the wind. These wind turbines resemble a traditional wind mill. (See table 9 for an illustration of a Horizontal Axis)

Vertical Axis (Wind power): Have a main rotor shaft arranged vertically and in line with the main support, the gearbox and electrical generator are placed on or near the ground. Vertical axis turbines typically require less area and space and do not require to be pointed into the wind at all times. Shapes for these turbines vary including “Eggbeater” turbines which resemble such, Giromills, or vertical sails. (See table 9 for an illustration of a Vertical Axis)

Green Roof: is a roof of a building that is partially or completely covered with vegetation and soil, or a growing medium, planted over a waterproofing membrane. It may also include additional layers such as a root barrier and drainage and irrigation system. Types include:

‘Extensive’ are designed to be virtually self sustaining and should require only minimum of maintenance. Extensive roofs are usually only accessed for maintenance. They can be established on a very thin layer of “soil” (most use specially formulated composts).

‘Semi intensive’ roofs combine features of Extensive and Intensive roofs.

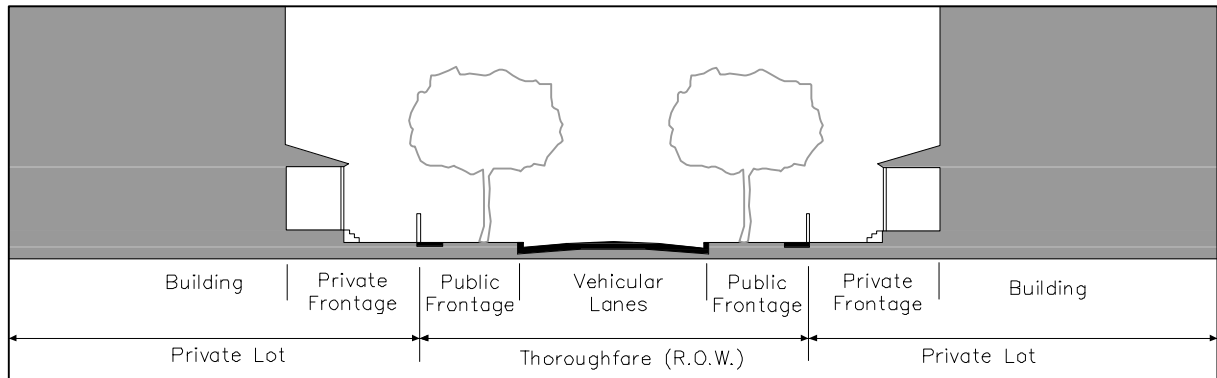
‘Intensive’ are traditional roof gardens, which require a reasonable depth of soil to grow large plants or conventional lawns. These are labor intensive requiring irrigation, feeding and other maintenance. Intensive roofs are more

park-like with easy access and may include anything from kitchen herbs to shrubs and small trees.

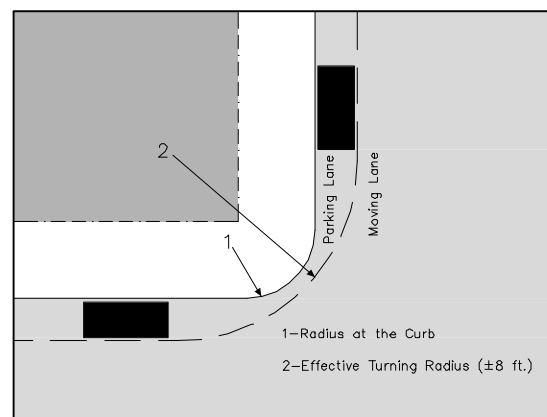
Vertical Farm: is a proposed agricultural technique using recycled resources and greenhouse methods such as hydroponics. These techniques can produce fruit, vegetables, edible mushrooms, algae and cash crops year round. These vertical farms are intended to take place indoors and may take place in mid to high rise suburban and urban environments.

See Table 23: Code Illustrated Definitions ~ page 40

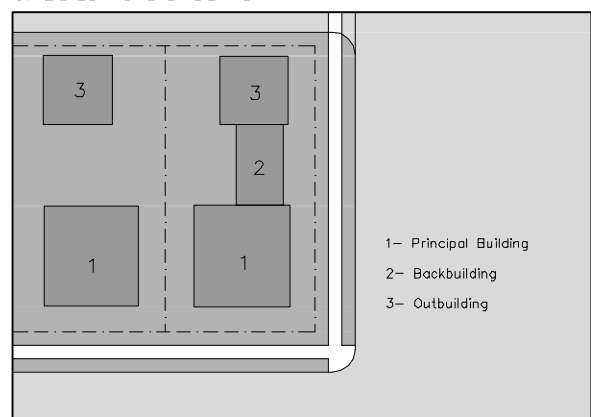
a. THOROUGHFARE & FRONTAGES



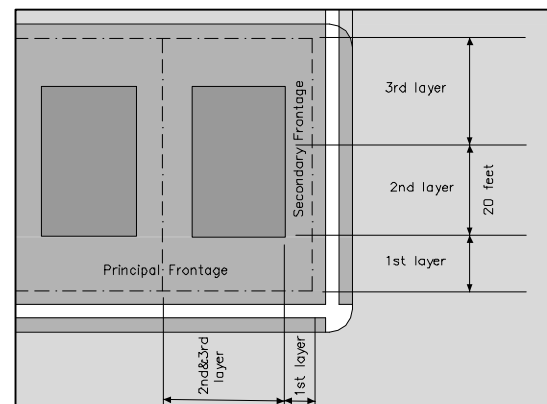
b. TURNING RADIUS



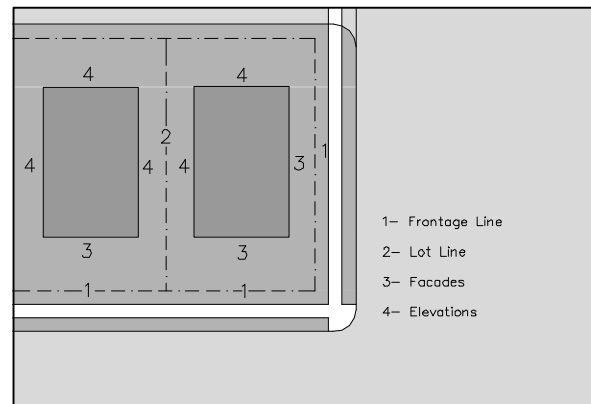
c. BUILDING DISPOSITION



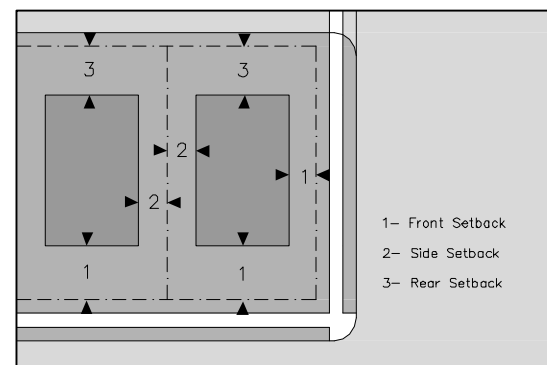
d. LOT LAYERS



e. FRONTAGE AND LOT LINES

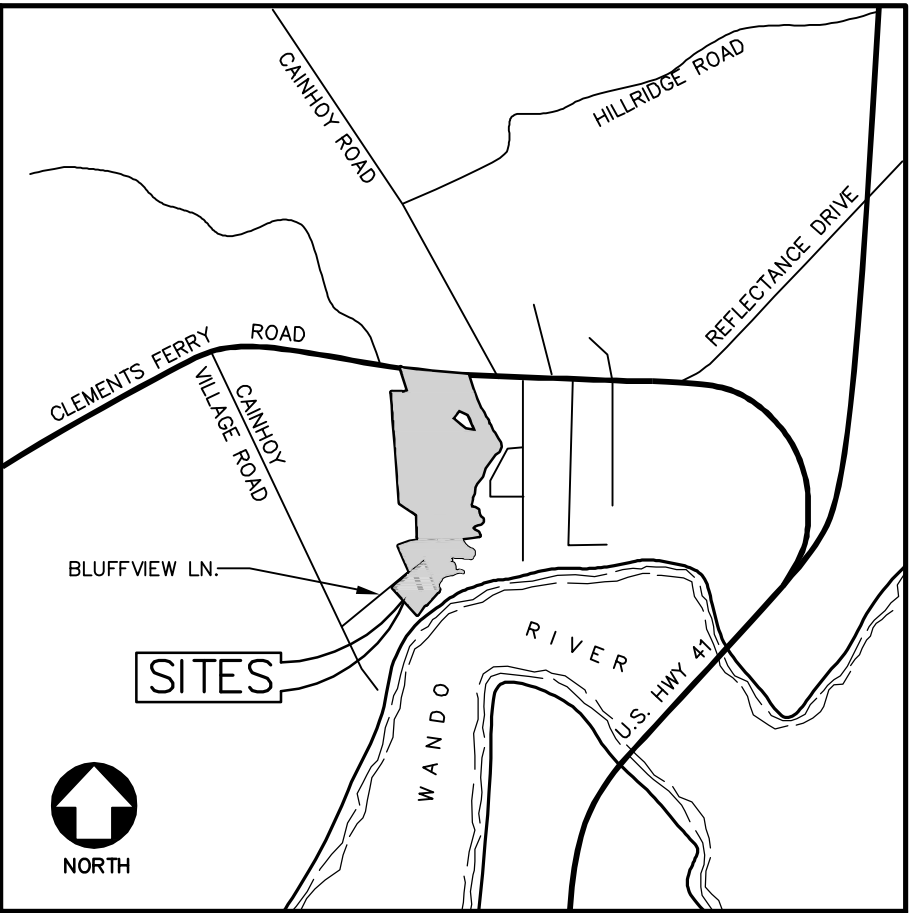
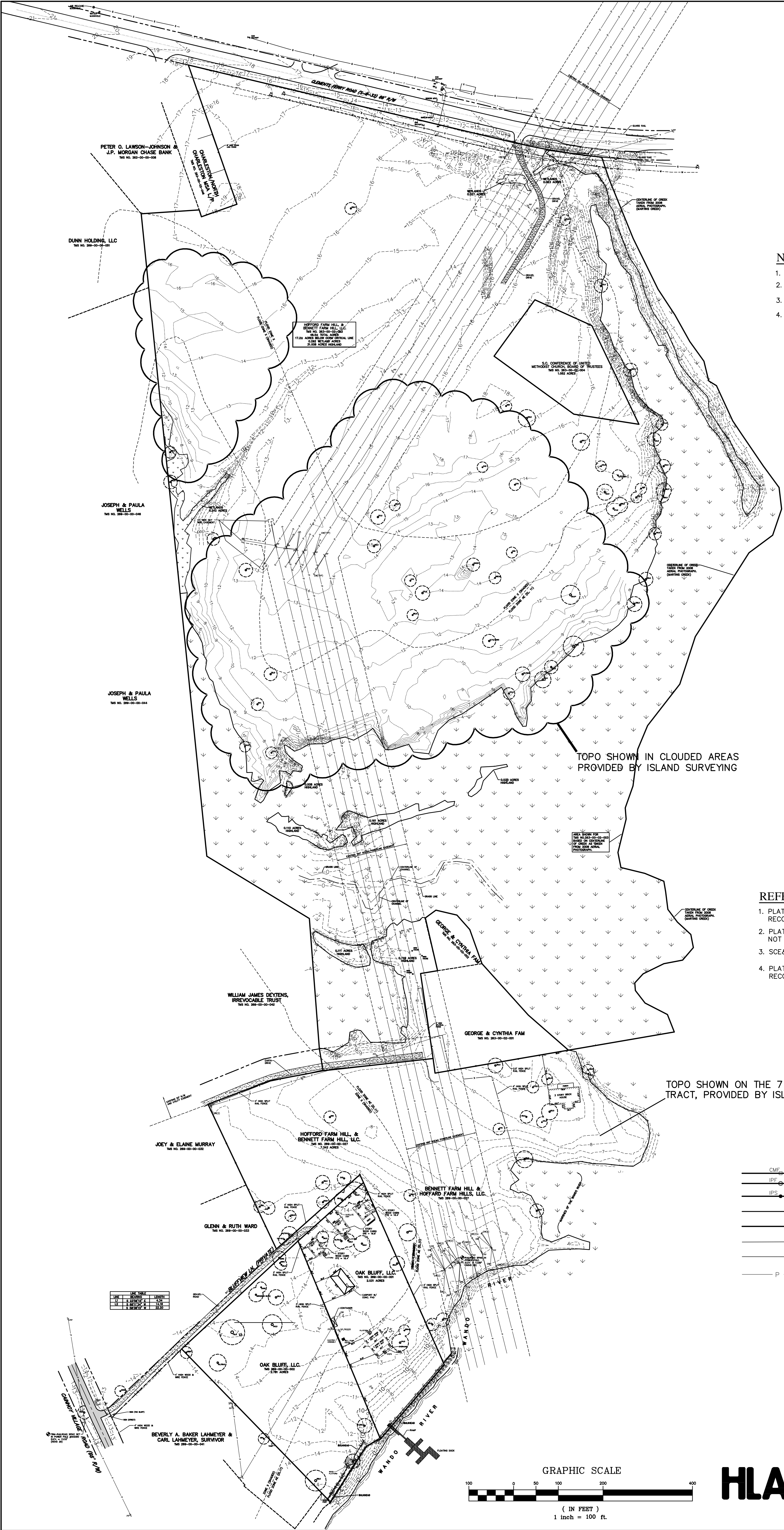


f. SETBACK DESIGNATIONS



g. NETWORK-BASED PEDESTRIAN SHED





LOCATION MAP
NOT TO SCALE

NOTES

1. TMS NO.S 263-00-02-003, 269-00-00-001, 002 & 027.
2. AREA DETERMINED BY COORDINATE METHOD.
3. NO UNDERGROUND EXPLORATION PERFORMED FOR THIS SURVEY.
4. PROPERTY IS LOCATED IN FLOOD ZONE X, AE (EL. 11) AND X (SHADED) AS PER FEMA MAP NUMBER 45015C0737D, COMMUNITY PANEL 45029 0737 D. EFFECTIVE DATE OCTOBER 16, 2003.

FLOOD ZONE X (SHADED) - AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM A 1% ANNUAL CHANCE FLOOD.

FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE THE

FLOOD ZONE AE - BASE FLOOD ELEVATIONS DETERMINED.

PALMETTO UTILITY LOCATION SERVICE

Don't Dig! Before you call
toll free 1-800-922-0983

A one call system for community and job safety.

REFERENCES

1. PLAT BY SOUTHEASTERN SURVEYING, INC. DATED AUGUST, 1986
RECORDED IN PLAT CABINET M, PAGE 103. BERKELEY COUNTY R.O.D.
2. PLAT BY CHARLES F. DAWLEY DATED MARCH 9, 2005.
NOT RECORDED.
3. SCE&G DRAWING NO. CP-12167 SHEET NO. 10, DATED 3-26-68.
4. PLAT BY CHARLES F. DAWLEY JR, DATED JANUARY 18, 2005.
RECORDED IN PLAT CABINET Q, PAGE 326-J. BERKELEY COUNTY R.O.D.

LEGEND

- CMF - BOUNDARY LINE & 4" x 4" CONC. MONUMENT
- IPF - BOUNDARY LINE & CORNER FOUND (AS DESCRIBED)
- IPS - BOUNDARY LINE & CORNER SET (5/8" REBAR)
- ADJ - ADJACENT BOUNDARY LINE
- RWL - RIGHT OF WAY LINE
- EAS - EASEMENT LINE (AS DESCRIBED)
- CEN - CENTERLINE
- P - OVERHEAD POWER LINE

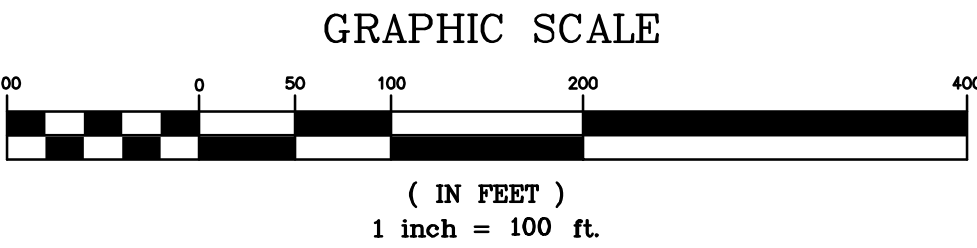
EXISTING CONDITIONS
EXHIBIT SHOWING
COMBINATION OF TRACTS
AT FARM HILL

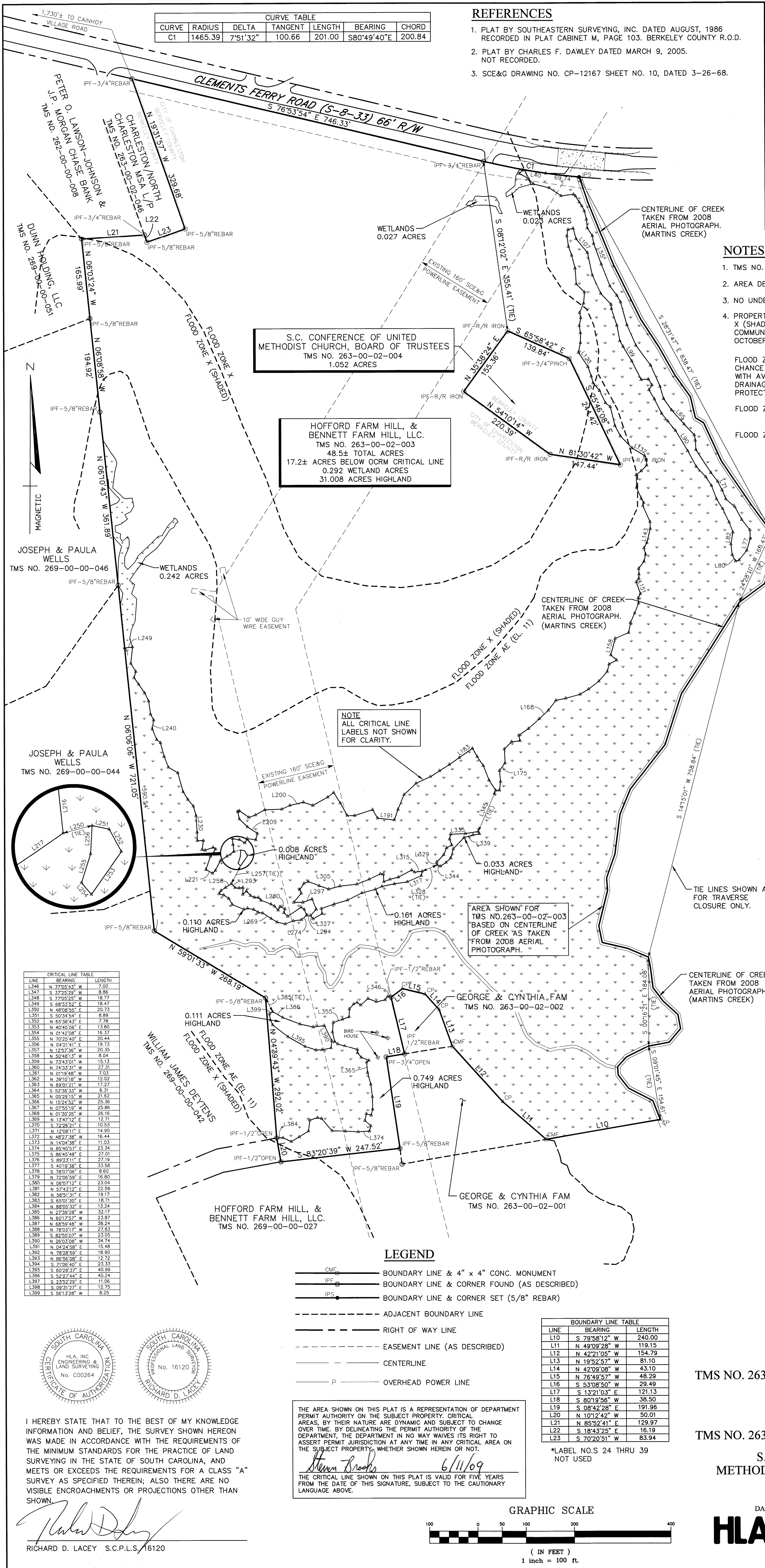
LOCATED IN
THE CITY OF CHARLESTON
BERKELEY COUNTY SOUTH CAROLINA

DATE: JULY 21, 2009 SCALE: 1" = 100'

HLA INC LAND PLANNING LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING SURVEYING

29 Leinbach Drive, A2, Charleston SC 29407-6988
tel 843.763.1166 fax 843.763.1909





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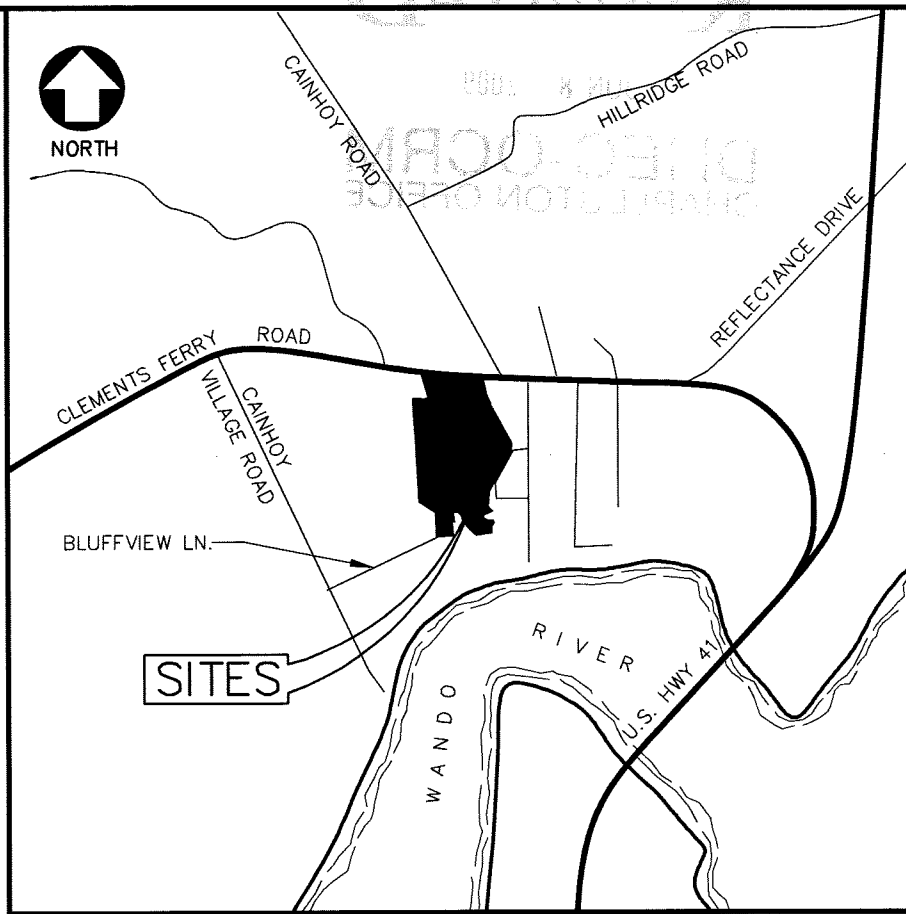
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FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

FLOOD ZONE AE - BASE FLOOD ELEVATIONS DETERMINED.

LOCATION MAP

NOT TO SCALE



CRITICAL LINE TABLE		
LINE	BEARING	LENGTH

L10	N 82°53'58" W	47.58
L11	S 48°29'24" W	10.34
L12	S 81°40'56" E	21.60
L13	S 42°48'10" E	15.56
L14	S 75°58'21" E	33.50
L15	S 58°16'46" E	29.78
L16	N 82°45'51" E	25.84
L17	S 48°42'43" E	5.51
L18	S 32°01'56" E	14.80
L19	S 34°00'58" E	9.65
L20	S 25°58'38" E	11.73
L21	S 14°19'49" E	17.75
L22	S 08°16'10" E	17.65
L23	N 33°47'22" W	18.97
L24	N 08°35'40" W	17.47
L25	N 03°37'37" W	45.27
L26	N 42°17'28" W	48.72
L27	N 36°27'23" W	24.32
L28	N 29°32'37" W	15.84
L29	N 12°56'14" W	49.22
L30	N 23°36'51" W	46.40
L31	N 30°42'24" W	51.12
L32	S 23°17'10" W	46.48
L33	N 16°33'01" W	25.96
L34	N 32°41'01" W	28.60
L35	N 41°17'01" W	39.41
L36	N 44°15'35" W	30.71
L37	N 09°43'56" W	11.67
L38	N 04°06'04" W	19.09
L39	N 33°24'18" W	56.78
L40	N 37°22'17" W	22.95
L41	S 22°48'42" E	20.59
L42	S 22°40'38" E	20.07
L43	S 48°51'02" E	24.43
L44	S 28°28'56" E	30.47
L45	S 38°06'52" E	27.29
L46	S 03°06'06" E	17.44
L47	S 16°26'26" W	25.70
L48	S 37°45'42" W	24.66
L49	S 74°57'28" W	7.97
L50	N 28°12'34" W	14.63
L51	N 15°14'42" W	22.47
L52	N 09°37'49" W	24.79
L53	N 21°10'42" W	22.43
L54	N 14°15'53" W	31.11
L55	N 32°19'25" W	24.75
L56	N 20°53'38" W	29.33
L57	S 29°59'56" W	21.41
L58	S 42°52'49" E	29.46
L59	S 28°37'44" E	36.93
L60	S 31°16'04" E	46.83
L61	S 39°59'11" E	25.17
L62	S 38°34'22" E	20.45
L63	S 36°56'45" E	39.07
L64	S 30°31'01" E	21.63
L65	S 31°14'30" W	11.74
L66	S 31°02'12" E	14.34
L67	N 85°45'08" E	15.06
L68	S 26°41'51" E	43.07
L69	S 31°02'13" E	35.12
L70	S 34°29'74" E	13.51
L71	N 10°49'28" E	32.79
L72	S 17°58'36" E	36.38
L73	S 02°47'14" E	8.87
L74	S 43°43'42" E	31.00
L75	S 24°50'25" E	41.98
L76	S 25°02'44" E	48.05
L77	S 39°49'36" E	37.01
L78	N 15°26'39" W	23.04
L79	S 25°37'14" W	11.03
L80	S 09°11'20" W	13.29
L81	S 08°02'23" E	22.65
L82	S 20°10'38" E	19.08
L83	S 14°54'43" E	27.77
L84	S 04°18'30" E	32.90
L85	S 45°32'55" E	24.20
L86	S 56°40'04" E	22.84
L87	S 23°08'12" E	21.63
L88	S 12°40'36" E	11.08
L89	S 10°11'29" E	16.68
L90	S 06°35'40" E	14.88
L91	S 02°10'04" E	20.30
L92	S 11°19'30" E	20.91
L93	S 33°37'07" E	35.64
L94	S 19°17'48" E	20.61
L95	S 41°03'44" E	14.86
L96	S 40°18'40" E	20.25
L97	S 25°38'29" E	28.12
L98	S 13°25'14" E	13.43
L99	S 13°25'14" E	40.08
L100	S 28°18'41" E	24.41
L101	S 44°35'57" E	34.75
L102	S 40°32'51" E	7.25
L103	S 21°30'09" E	8.54
L104	S 04°47'14" E	11.75
L105	S 53°36'05" W	12.91
L106	S 01°19'52" E	26.85
L107	S 24°00'04" E	25.05
L108	S 31°30'48" E	9.49
L109	S 13°52'02" E	7.40
L110	S 24°31'41" E	36.25
L111	S 01°57'34" E	14.29
L112	S 13°01'51" W	29.94
L113	S 28°28'24" W	12.57
L114	S 14°47'33" E	13.45
L115	S 12°06'44" W	15.12
L116	S 36°16'55" W	18.33
L117	S 03°12'53" E	11.78
L118	S 02°18'24" W	9.04
L119	S 36°30'05" E	9.13
L120	S 11°34'24" E	25.87
L121	S 33°21'16" W	10.18
L122	S 06°12'08" W	10.36
L123	S 21°17'52" W	21.97
L124	S 24°10'02" W	21.71
L125	S 09°43'59" W	20.90
L126	S 68°43'58" W	30.70
L127	S 14°38'54" W	35.43
L128	S 14°00'08" W	15.61
L129	S 40°30'48" W	26.54
L130	S 52°12'02" W	27.25
L131	S 58°47'52" W	20.50
L132	S 74°34'13" W	30.88
L133	S 72°22'17" W	26.94
L134	S 37°12'03" W	25.79
L135	S 46°37'02" W	26.05
L136	S 46°39'26" W	30.03
L137	S 50°24'33" W	25.07
L138	S 13°22'53" E	11.90
L139	S 82°34'54" E	17.51
L140	S 44°50'16" E	21.50
L141	S 03°25'49" E	29.14
L142	S 30°43'37" E	19.55
L143	S 09°42'33" E	23.32
L144	S 06°56'37" E	17.90
L145	S 87°17'17" W	7.88
L146	S 32°27'16" W	25.05
L147	N 21°32'36" W	32.77
L148	N 33°28'15" W	22.97
L149	N 29°40'08" W	19.38
L150	S 53°08'50" W	33.47
L151	S 55°06'50" W	25.25
L152	S 56°59'27" W	24.08
L153	S 57°05'23" W	22.82
L154	S 64°35'01" W	32.80
L155	S 46°30'24" W	34.19
L156	S 22°00'12" W	32.84
L157	S 19°11'48" W	23.22
L158	N 84°08'53" W	35.05
L159	N 30°06'40" W	20.30

CRITICAL LINE TABLE		
LINE	BEARING	LENGTH

L193	S 71°42'20" W	38.96
L194	S 88°22'33" W	15.10
L195	N 29°34'33" W	25.69
L196	N 32°12'02" W	26.68
L197	S 51°49'50" W	15.72
L198	S 50°26'46" W	24.93
L199	N 71°15'01" W	20.54
L200	S 76°25'37" W	28.80
L201	S 64°22'42" W	18.35
L202	S 87°49'41" W	9.65
L203	S 80°11'41" W	21.94
L204	S 69°27'21" W	14.58
L205	S 48°07'19" E	23.91
L206	S 70°39'58" W	3.94
L207	S 12°49'25" E	16.20
L208	S 48°07'19" E	23.91
L209	S 56°50'55" E	24.30
L210	S 13°24'41" W	13.56
L211	N 81°35'34" W	14.62
L212	S 50°17'14" W	16.58
L213	S 57°48'02" W	13.15
L214	N 81°35'34" W	14.62
L215	S 50°17'14" W	16.58
L216	S 06°28'40" E	14.55
L217	S 55°03'31" W	17.27
L218	S 50°17'14" W	16.58
L219	S 26°41'56" W	22.54
L220	S 45°38'23" W	8.69
L221	S 09°11'20" W	13.29
L222	N 19°01'15" E	28.74
L223	N 35°01'04" E	18.48
L224	S 45°38'23" W	8.69
L225	S 70°19'01" W	17.69
L226	N 79°20'57" W	6.57
L227	N 08°25'02" E	19.31
L228	S 88°22'07" W	12.56
L229	N 01°29'40" W	17.49
L230	N 04°05'53" W	34.27
L231	N 19°05'51" W	20.39
L232	N 39°51'02" W	17.85
L233	N 32°11'18" W	16.63
L234	N 81°35'34" W	14.62
L235	N 59°49'39" W	22.82
L236	N 21°40'26" W	24.01
L237	N 08°11'40" E	19.72
L238	N 50°18'30" W	9.92
L239	N 23°04'29" W	23.88
L240	N 35°20'51" W	18.52
L241	N 34°33'04" W	22.32
L242	N 08°10'41" W	27.78
L243	N 35°20'51" W	18.52
L244	N 34°33'04" W	22.32
L245	N 35°15'43" W	16.14
L246	N 15°12'03" W	13.46
L247	N 31°11'02" W	19.92
L248	N 05°41'18" E	34.02
L249	N 35°20'51" W	18.52
L250	N 25°11'06" E	14.48
L251	N 78°03'42" W	8.46
L252	N 28°37'19" W	12.31
L253	N 09°11'20" W	13.29
L254	S 40°30'40" E	7.44
L255	S 17°11'53" W	14.81
L256	S 09°11'20" W	13.29
L257	S 27°04'48" W	41.23
L258	N 55°56'59" E	14.24
L259	S 55°56'59" E	14.24
L260	N 32°15'55" E	7.62
L261	N 24°07'55" W	10.20
L262	S 55°56'59" E	14.24
L263	N 30°22'30" W	14.52
L264	N 67°34'17" W	25.97
L265	S 23°10'38" E	7.84
L266	N 79°24'42" W	12.99
L267	N 56°28'39" W	10.73
L268	N 80°38'28" W	19.99
L269	N 56°40'04" E	20.87
L270	N 59°36'15" W	14.31
L271	N 26°38'29" W	17.98
L272	N 88°12'30" E	13.66
L273	S 82°11'03" W	17.06
L274	S 48°09'46" W	13.91
L275	N 01°12'06" W	13.46
L276	S 56°25'57" E	7.81
L277	N 55°08'20" E	33.69
L278	N 08°12'30" E	14.86
L279	S 16°24'23" W	8.43
L280	S 65°40'35" E	11.42
L281	N 22°02'41" E	13.43
L282	S 41°55'10" E	11.09
L283	S 58°45'31" E	8.63
L284	S 68°43'16" E	23.36
L285	S 40°32'51" E	7.25
L286	S 88°55'21" E	8.79
L287	S 64°17'01" E	9.14
L288	S 42°02'44" E	12.51
L289	N 48°39'30" E	9.92
L290	S 01°12'06" W	13.91
L291	N 83°19'01" E	7.25
L292	S 88°14'49" E	8.32
L293	S 42°09'12" E	11.59
L294	N 69°43'58" E	19.99
L295	S 41°26'59" W	17.49
L296	S 22°10'31" E	22.95
L297	N 69°43'58" E	19.99
L298	N 89°34'28" W	18.94
L299	S 39°36'28" W	24.54
L300	S 88°50'30" W	8.29
L301	S 34°35'45" W	15.80
L302	S 68°01'46" W	9.61
L303	N 15°33'22" E	9.24
L304	N 70°54'48" W	20.96
L305	S 74°26'39" W	23.74
L306	S 83°39'56" W	35.33
L307	S 87°48'56" W	27.57
L308	S 63°42'43" W	25.47
L309	N 84°56'55" W	6.18
L310	N 03°56'16" W	15.57
L311	S 70°00'44" W	13.21
L312	N 74°29'58" E	18.45
L313	N 82°02'44" W	31.03
L314	S 54°55'20" E	7.33
L315	N 83°17'32" E	16.26
L316	S 13°30'14" W	9.24
L317	S 65°53'46" W	31.78
L318	N 81°12'08" E	27.10
L319	N 78°03'42" W	8.46
L320	N 68°46'31" E	14.81
L321	N 74°51'08" E	28.98
L322	N 62°42'07" E	33.07
L323	N 25°47'09" E	29.08
L324	N 70°00'25" E	28.16
L325	N 10°40'01" W	10.77
L326	N 58°04'09" E	21.81
L327	S 36°12'47" E	9.10
L328	S 68°45'36" W	33.35
L329	S 07°56'43" E	6.05
L330	S 43°11'01" W	20.91
L331	S 22°02'30" W	15.47
L332	S 81°59'40" W	12.17
L333	S 20°09'44" E	13.31
L334	S 11°20'23" W	10.26
L335	S 86°50'30" W	30.67
L336	S 80°29'05" W	27.02
L337	N 26°35'52" W	5.59
L338	N 79°54'07" W	13.69

HOFFORD FARM HILL, &
BENNETT FARM HILL, LLC.
TMS NO. 263-00-02-003

CRITICAL LINE TABLE		
LINE	BEARING	LENGTH
L1	S 79°16'29" E	17.33
L2	S 20°25'38" E	31.59
L3	S 11°44'46" E	16.12
L4	S 65°29'17" E	13.40
L5	S 19°02'28" E	18.17
L6	S 47°35'48" E	41.44
L7	S 38°13'52" E	11.00
L8	S 57°52'38" E	29.75
L9	S 64°34'56" E	22.83
L10	S 73°25'44" E	23.89
L11	S 50°05'37" E	26.24
L12	S 10°56'01" E	28.87
L13	S 08°02'22" W	21.73
L14	S 23°39'24" W	23.80
L15	S 21°35'52" W	21.75
L16	S 58°41'32" W	19.45
L17	N 87°27'47" W	24.71
L18	N 83°34'16" W	37.61
L19	N 89°13'08" W	27.70
L20	N 79°36'59" W	28.40
L21	S 82°38'07" W	30.41
L22	N 88°29'49" W	27.52
L23	N 84°47'30" W	36.56
L24	N 75°48'25" W	20.32
L25	S 87°32'05" W	22.83
L26	S 58°53'47" W	13.60
L27	S 28°43'38" W	19.40
L28	S 41°07'21" E	28.56
L29	S 54°54'58" W	21.73
L30	S 12°57'10" W	8.18
L31	S 64°06'03" E	20.79
L32	N 76°05'59" E	29.91
L33	S 65°37'22" E	20.54
L34	S 28°58'18" E	23.57
L35	S 26°05'40" E	28.47
L36	S 01°46'37" E	16.28
L37	S 05°26'42" W	17.33
L38	S 12°56'03" E	16.59
L39	S 70°19'07" E	21.14
L40	N 69°43'15" E	25.65
L41	N 65°01'47" E	14.86
L42	S 59°45'13" E	35.62
L43	S 74°45'15" E	17.45
L44	S 01°14°49" W	16.76
L45	N 85°52'19" W	23.30
L46	S 88°33'15" W	26.07
L47	S 86°49'13" W	41.53
L48	S 57°57'07" W	43.14
L49	S 57°12'02" W	18.45
L50	S 86°37'07" W	24.99
L51	S 79°04'46" W	62.11
L52	S 59°03'53" W	41.03
L53	S 49°18'34" W	21.01
L54	S 15°05'54" W	26.74
L55	S 40°21'25" W	26.74
L56	S 25°14'43" W	39.79
L57	S 10°56'23" E	27.38
L58	S 08°09'04" E	27.88
L59	S 08°35'18" E	14.11

GLENN & RUTH WARD
TMS NO. 269-00-00-033

OAK BLUFF, LLC.
TMS NO. 269-00-00-001

OAK BLUFF, LLC.
TMS NO. 269-00-00-002

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREIN OR NOT.

Steven Brooks 4-1-09

THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

RICHARD D. LACEY S.C.P.L.S. 16120

1. PLAT BY CHARLES F. DAWLEY JR, DATED JANUARY 18, 2005.
RECORDED IN PLAT CABINET Q, PAGE 326-J. BERKELEY COUNTY R.O.D.
2. PLAT BY ISLAND SURVEYING DATED JUNE 27, 2007. NOT RECORDED.

1. TMS NO. 269-00-00-027.
2. AREA DETERMINED BY COORDINATE METHOD.
3. NO UNDERGROUND EXPLORATION PERFORMED FOR THIS SURVEY.
4. PROPERTY IS LOCATED IN FLOOD ZONE AE (EL. 11) AND X (SHADED) AS PER FEMA MAP NUMBER 45015C0737D, COMMUNITY PANEL 45029 0737 D. EFFECTIVE DATE OCTOBER 16, 2003..

FLOOD ZONE X (SHADED) AREAS OF 500-YEAR AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

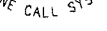
FLOOD ZONE AE - BASE FLOOD ELEVATIONS DETERMINED.

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

LOCATION MAP
NOT TO SCALE

PALMETTO UTILITY LOCATION SERVICE



Don't Dig! Before you call
toll free 1-800-922-0983

A one call system for community and job safety

**PLAT SHOWING
TMS NO. 269-00-00-027
(CONTAINING 7.342 ACRES)
PROPERTY OF
HOFFORD FARM HILL, AND
BENNETT FARM HILL, LLC.**

DATE: MARCH 5, 2009

SCALE: 1" = 40'

INC LAND PLANNING LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING SURVEYING
29 Leinbach Drive, A2. Charleston SC 29407-6988
tel 843.763.1166 fax 843.763.1909

LEGEND

CMF	BOUNDARY LINE & 4" x 4" CONC. MONUMENT
IPF	BOUNDARY LINE & CORNER FOUND (AS DESCRIBED)
CP	BOUNDARY LINE & CALCULATED POINT
IPS	BOUNDARY LINE & CORNER SET (5/8" REBAR)
---	ADJACENT BOUNDARY LINE
---	RIGHT OF WAY LINE
---	EASEMENT LINE (AS DESCRIBED)
---	CENTERLINE
P	OVERHEAD POWER LINE
PP	EX. POWER POLE
GM	GAS MARKER
SV	GAS VALVE
SP	EX. SERVICE POLE
SH	FIRE HYDRANT
WV	WATER VALVE

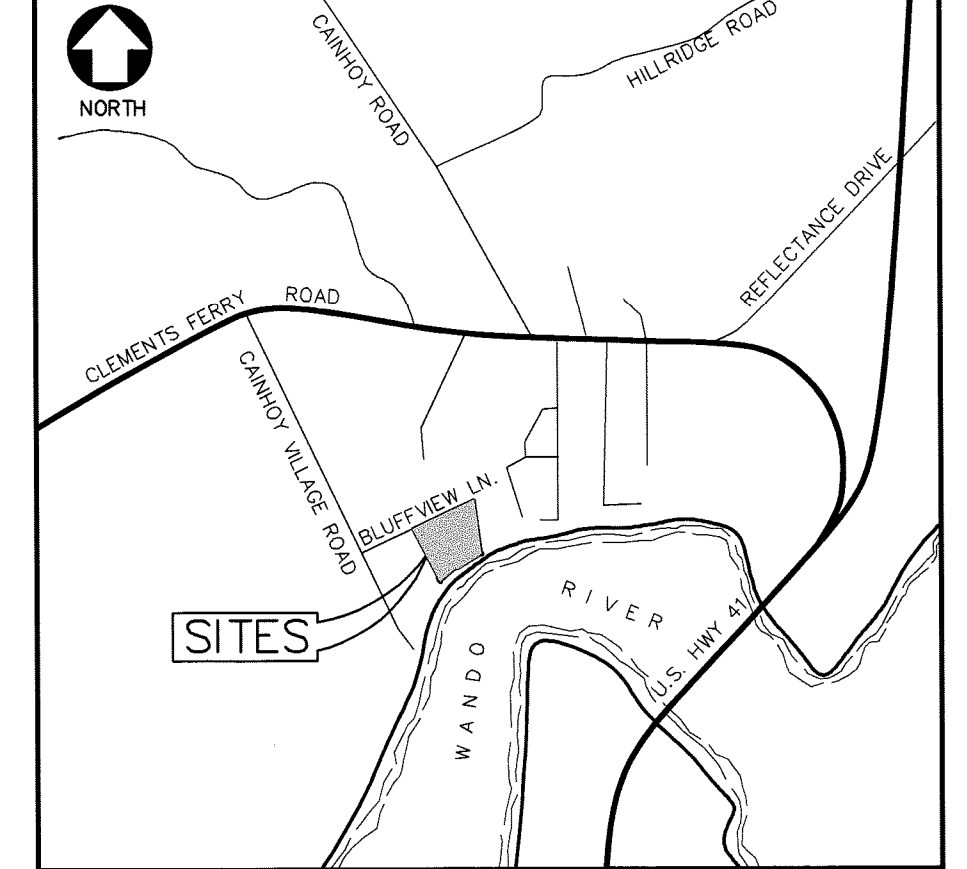
NOTES

- TMS NO. 269-00-00-001 & 002.
- AREA DETERMINED BY COORDINATE METHOD.
- NO UNDERGROUND EXPLORATION PERFORMED FOR THIS SURVEY.
- PROPERTY IS LOCATED IN FLOOD ZONEAE (EL. 11) AND X (SHADED) AS PER FEMA MAP NUMBER 45015C0737D, COMMUNITY PANEL 45029 0737 D. EFFECTIVE DATE OCTOBER 16, 2003..

FLOOD ZONE X (SHADED) AREAS OF 500-YEAR AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

FLOOD ZONE AE - BASE FLOOD ELEVATIONS DETERMINED.

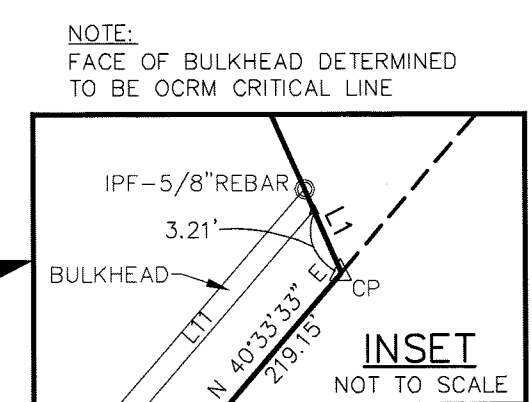
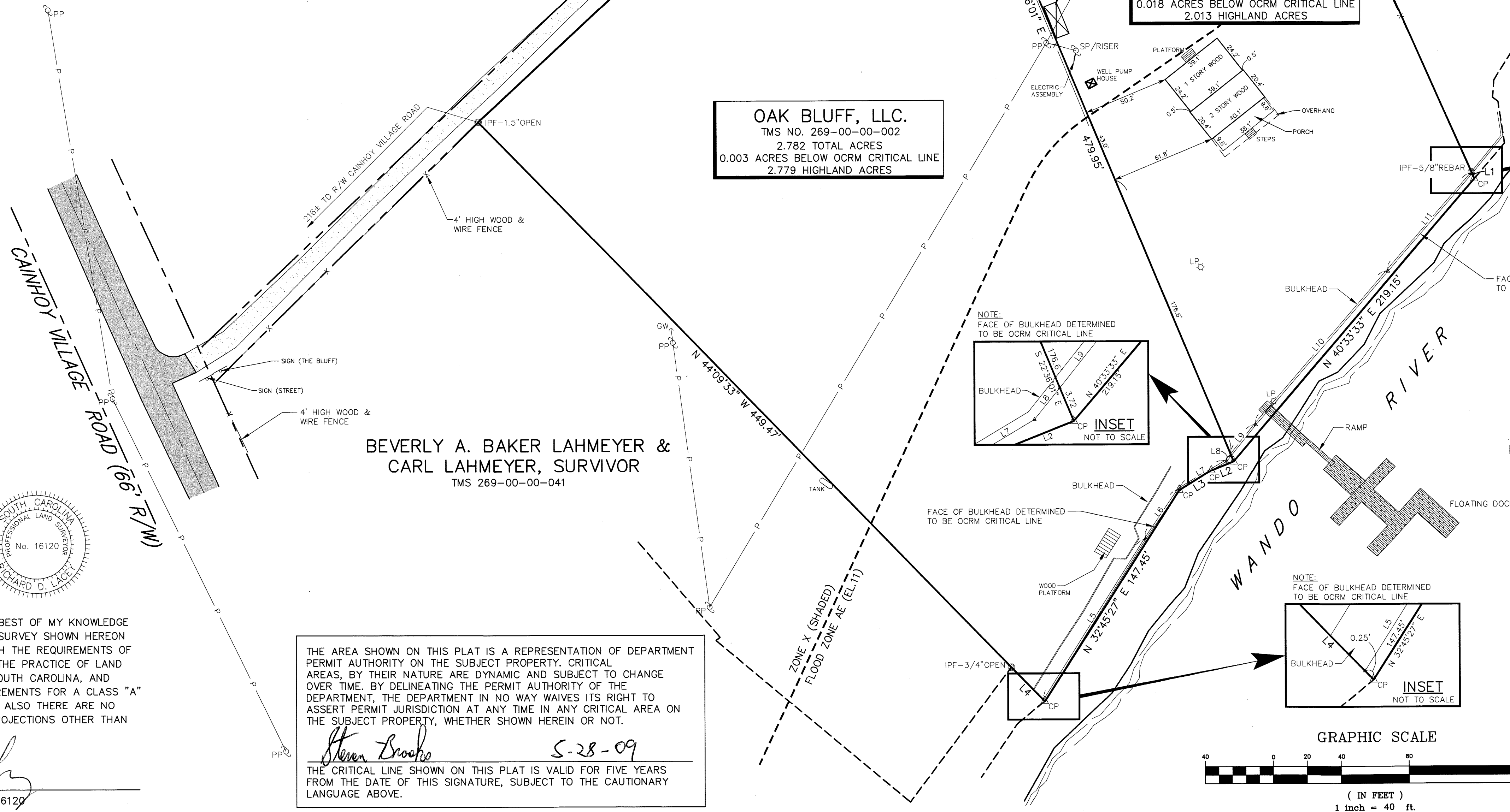
LINE	BEARING	LENGTH
L1	N 23°18'36" W	4.32
L2	S 68°11'34" W	14.16
L3	S 58°38'15" W	22.20
L4	N 44°18'49" W	28.15



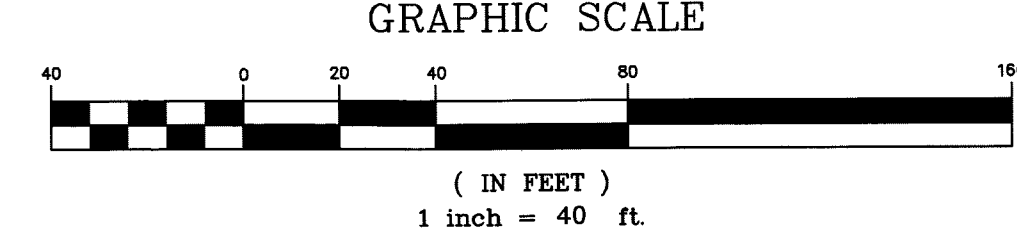
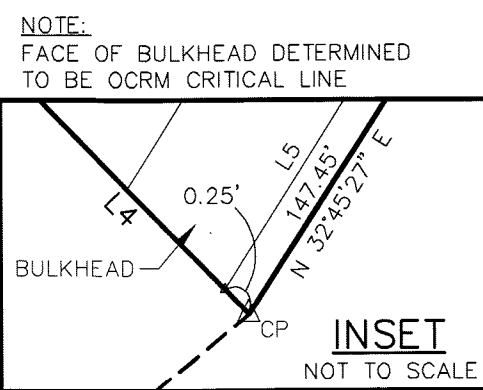
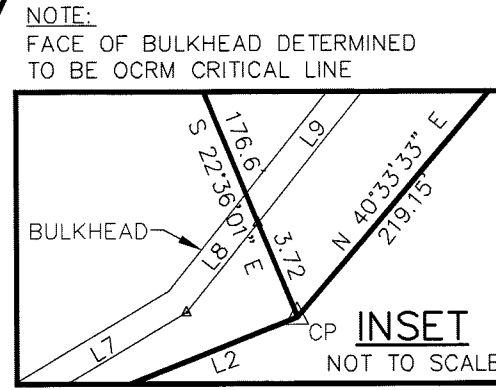
LOCATION MAP
NOT TO SCALE

REFERENCES

- PLAT BY CHARLES F. DAWLEY JR, DATED JANUARY 18, 2005. RECORDED IN PLAT CABINET Q, PAGE 326-J. BERKELEY COUNTY R.O.D.
- PLAT BY ISLAND SURVEYING DATED JUNE 27, 2007. NOT RECORDED.

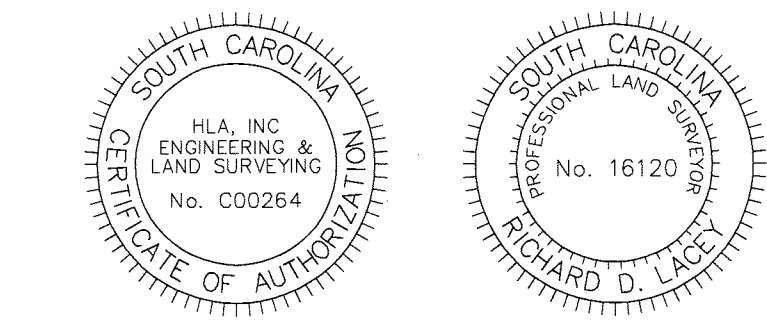


LINE	BEARING	LENGTH
L5	N 32°19'33" E	112.35
L6	N 34°24'08" E	35.23
L7	N 59°04'42" E	32.68
L8	N 38°42'08" E	4.19
L9	N 38°42'08" E	23.29
L10	N 40°56'03" E	119.46
L11	N 40°52'09" E	76.16



PLAT SHOWING
TMS NO. 269-00-00-001 (CONTAINING 2.031 ACRES)
AND
TMS NO. 269-00-00-002 (CONTAINING 2.782 ACRES)
PROPERTY OF
OAK BLUFF, LLC.
LOCATED IN
THE CITY OF CHARLESTON
BERKELEY COUNTY SOUTH CAROLINA
DATE: APRIL 29, 2009 SCALE: 1" = 40'

HLA INC. LAND PLANNING LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING SURVEYING
29 Leinbach Drive, A2. Charleston SC 29407-6988
tel 843.763.1166 fax 843.763.1909

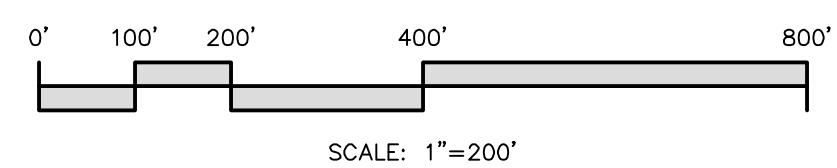


I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

Richard D. Lacey
RICHARD D. LACEY S.C.P.L.S. 16120

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREIN OR NOT.

Steven Brooks S-28-09
THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.



Oak Bluff PUD Site Aerial

CITY OF CHARLESTON, SOUTH CAROLINA
December 17, 2009

HLA INC

29 Leinbach Drive, A2, Charleston SC 29407-6988 tel 843.763.1166 fax 843.763.1909

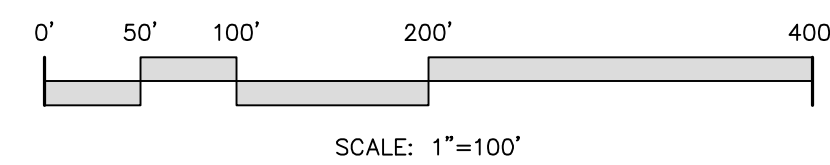
LAND PLANNING
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SURVEYING

NOTES:
OPEN SPACE ELEMENTS AND LOCATIONS
IN THE PLAN ARE SUBJECT TO CHANGE
AND APPROVAL BASED ON THE
REQUIREMENTS OF PUD AND/OR
TO BETTER RELATE TO ADJACENT
BUILDINGS, STREETS, AND USES.

GRAND TREE LOACTIONS ARE
SHOWN. ALL GRAND TREE REMOVAL
AND ENCROACHMENT REQUESTS
SHALL BE ADMINISTRED PER
THE REQUIREMENTS OF THE CITY OF
CHARLESTON ZONING ORDINANCE.



GRAND TREE LOATIONS ARE SHOWN. ALL GRAND TREE REMOVAL AND ENCROACHMENT REQUESTS SHALL BE ADMINISTRED PER THE REQUIREMENTS OF THE CITY OF CHARLESTON ZONING ORDINANCE.



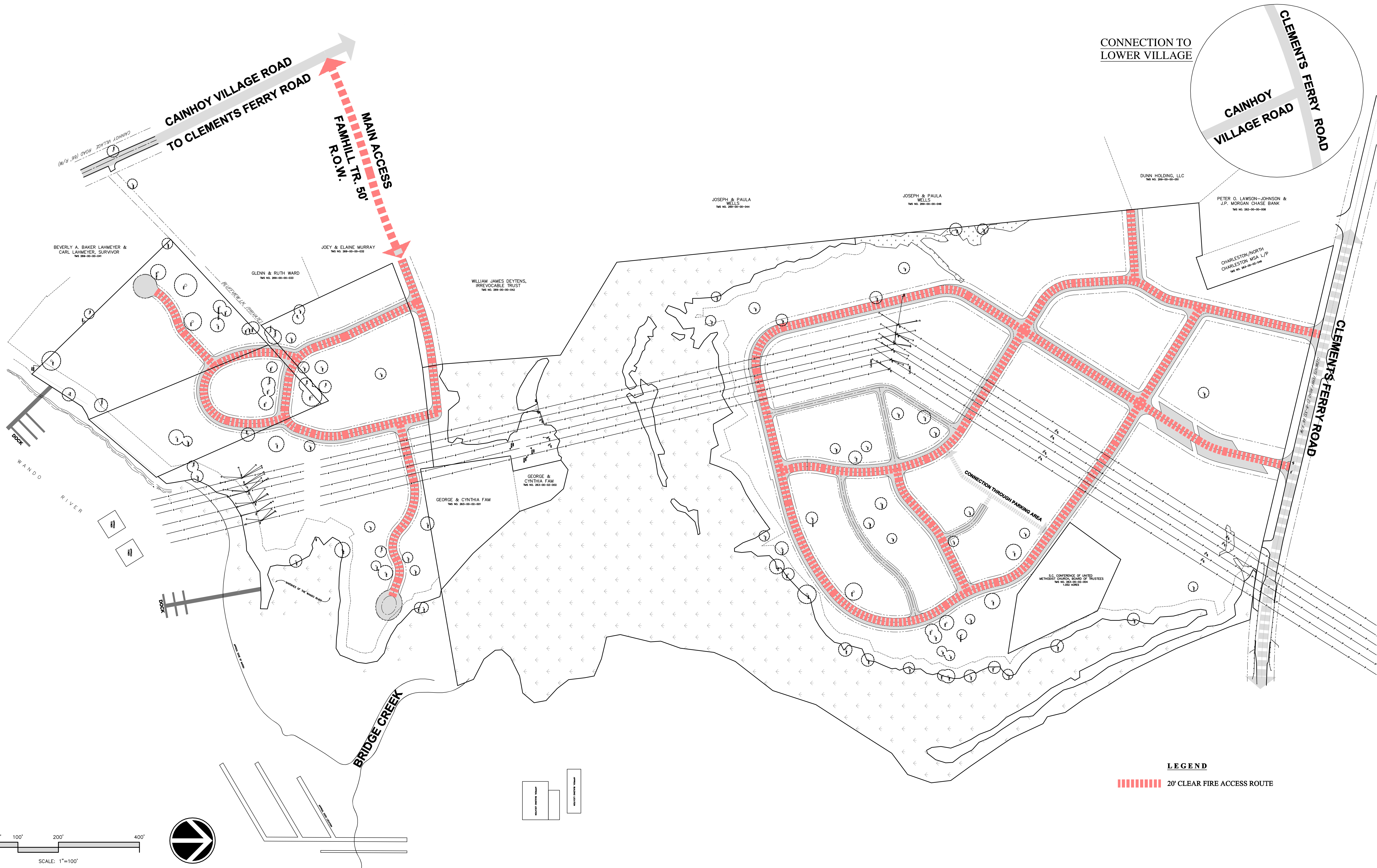
<u>COLOR</u>	<u>OPEN SPACE DESIGNATION</u>	<u>REQUIRED</u>
	USABLE OPEN SPACE	6.1 AC (50 % TOTAL)
	CONSERVATION OPEN SPACE	-
	TOTAL	12.1 AC (20 % GROSS)

NOTE:
OPEN SPACE TYPES ARE CONCEPTUAL.
REFER TO PUD DOCUMENT OPEN SPACE SECTION
AND OPEN SPACE TABLE FOR ADDITIONAL GUIDELINES.

CITY OF CHARLESTON, SOUTH CAROLINA
December 17, 2009 Rev. January 11, 2010

29 Leinbach Drive, A2. Charleston SC 29407-6988 tel 843.763.1166 fax 843.763.1909

LAND PLANNING
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SURVEYING



Oak Bluff PUD Fire Accessibility Route Plan

CITY OF CHARLESTON, SOUTH CAROLINA
Rev. January 11, 2010



Rev. No.0

Charleston Water System

10/1/1999

09020.00
FARM Hill

DC-41518-006

Board of Commissioners

Thomas B. Pritchard, Chairman

David E. Rivers, Vice Chairman

William E. Koopman, Jr., Commissioner

Mayor Joseph P. Riley, Jr. (Ex-Officio)

Councilmember Louis L. Waring (Ex-Officio)

P.O. Box B

Charleston, SC 29402

103 St. Philip Street (29403)

(843) 727-6800

www.charlestonwater.com

Officers

Kin Hill, P.E., Chief Executive Officer

Dorothy Harrison, Chief Administrative Officer

Wesley Ropp, CMA, Chief Financial Officer

Andy Fairey, Chief Operating Officer

Mark Cline, P.E., Capital Projects Officer

April 7, 2009

HLA, Inc.

29-A Leinbach Drive

Charleston, South Carolina 29407

Attention: Brad Smith

MY DIRECT LINE IS:

(843) 727-7118

Re: Water Availability to TMS # 269-00-00-043 & 263-00-02-003(Upper Piece) as combined and re-subdivided for multiple commercial & residential developments

Dear Mr. Smith:

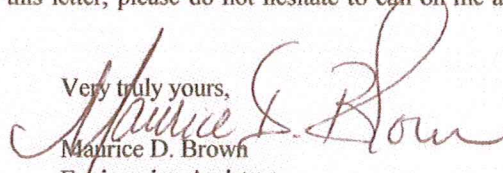
This letter is to certify our willingness and ability to provide water to the above referenced sites as combined and re-subdivided in the City of Charleston, Berkeley County, South Carolina. We currently have an existing 30" water main in an easement contiguous to the right of way of the south side of Clements Ferry Road from which your upper piece sites may be served with potable water. There are no existing taps to these sites. Any subdividing of the property subsequent to this correspondence will require a review process of the civil engineering plans to insure compliance with the Charleston Water System minimum standards. This review does not supplant any other review as required by governing authorities and municipalities. *It will of course be a developer responsibility to insure there are adequate pressures and quantities on this line to serve this site with domestic water/fire flow and not negatively impact the existing developments. Please be advised any extensions or modification to the infrastructure as well as any additional fire protection will be a developer expense. All fees and costs associated with providing water service to this site will be a developer expense. This letter does not reserve capacity in the Charleston Water System infrastructure and it is incumbent upon the developer or his agent to confirm the availability herein granted past 12 months of this correspondence.*

The Charleston Water System certifies the availability of service only insofar as its rights allow. Should access to our existing main/mains be denied by appropriate governing authorities, the Charleston Water System will have no other option than to deny service.

This letter is not to be construed as a letter of acceptance for operation and maintenance from the Department of Health and Environmental Control.

If there are any questions pertaining to this letter, please do not hesitate to call on me at (843) 727-7118. With best regards, I am

Very truly yours,



Maurice D. Brown
Engineering Assistant
Charleston Water System

cc: Mark F. Cline PE, Capital Projects Officer
Russell Huggins PE, Director of Engineering
Curtis Denman, Engineer Modeling Technician



Rev. No.0

Charleston
Water System

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FARM HILL

DC-4.5.1c-005

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Mark Cline, P.E., Capital Projects Officer

April 7, 2009

HLA, Inc.
29-A Leinbach Drive
Charleston, South Carolina 29407
Attention: Brad Smith

MY DIRECT LINE IS:
(843) 727-7118

Re: Water non availability to TMS #269-00-00-001, 269-00-00-002, 269-00-00-027(Lower Piece) as combined and re-subdivided for multiple commercial & residential developments

Dear Mr. Smith:

This letter is to certify our inability to provide water to the above referenced sites as combined and re-subdivided in the City of Charleston, Berkeley County, South Carolina, however; we currently have an existing 8" water main in Cainhoy Village Road which may be extended to serve your lower piece sites with potable water at the developers' expense. There are no existing service taps to these sites. Should it become necessary to loop the proposed extension into the proposed water mains in your upper piece to attain the required fire flow, this also will be a developers' expense. *It will of course be a developer responsibility to insure there are adequate pressures and quantities on this line to make the extension required to serve this site with domestic water/fire flow and not negatively impact the existing developments. Please be advised any extensions or modification to the infrastructure as well as any additional fire protection will be a developer expense. All fees and costs associated with providing water service to this site will be a developer expense. This letter does not reserve capacity in the Charleston Water System infrastructure and it is incumbent upon the developer or his agent to confirm the availability herein granted past 12 months of this correspondence.*

Any construction or subdividing of the property which necessitates an extension will require a review process of the civil engineering plans to insure compliance with the Charleston Water System minimum standards. This review does not supplant any other review as required by governing authorities and municipalities.

The Charleston Water System certifies the availability of service only insofar as its rights allow. Should access to our existing main/mains be denied by appropriate governing authorities, the Charleston Water System will have no other option than to deny service.

This letter is not to be construed as a letter of acceptance for operation and maintenance from the Department of Health and Environmental Control.

If there are any questions pertaining to this letter, please do not hesitate to call on me at (843) 727-6886. With best regards, I am

Very truly yours,

Maurice D. Brown
Engineering Assistant
Charleston Water System

cc: Mark F. Cline PE, Capital Projects Officer
Russell Huggins PE, Director of Engineering
Curtis Denman, Engineer Modeling Technician
File



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Farm Hill

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April 7, 2009

HLA, Inc.
29-A Leinbach Drive
Charleston, South Carolina 29407
Attention: Brad Smith

MY DIRECT LINE IS:
(843) 727-7118

Re: Wastewater collection Availability to TMS # 269-00-00-043 & 263-00-02-003(Upper Piece) as combined and re-subdivided for multiple commercial & residential developments

Dear Mr. Smith:

This letter is to certify our willingness as of the date of this correspondence, to provide wastewater collection service to the above referenced sites in the City of Charleston, Berkeley County, South Carolina. Wastewater collection service to your upper piece sites as combined and re-subdivided is available via the existing Charleston Water System's 12" force main collection system located in an easement contiguous to the right of way of the south side of Clements Ferry Road. It will be necessary to install a pump station for this tie-in. The Charleston Water System will require a pump station site and ingress/egress. *Any extensions and/or modifications to the infrastructure to serve this site will be a developer expense. Please be advised that wastewater impact fees, wastewater tap fees, change-in-use fees, and/or cost to extend fees will be due prior to connection of any Charleston Water System's sewer system. This letter does not reserve capacity in the Charleston Water System infrastructure and it is incumbent upon the developer or his agent to confirm the availability herein granted past 12 months of this correspondence.*

The Charleston Water System certifies the availability of service only insofar as its rights allow. Should access to our existing sewer main/mains be denied by appropriate governing authorities, the Charleston Water System will have no other option than to deny service.

This letter is not to be construed as a letter of acceptance for operation and maintenance from the Department of Health and Environmental Control.

If there are any questions pertaining to this letter, please do not hesitate to call on me at (843) 727-7118.
With best regards, I am

Very truly yours,

Maurice D. Brown
Engineering Assistant
Charleston Water System

Cc: Mark F. Cline PE, Capital Projects Officer
Russell Huggins PE, Director of Engineering
Curtis Denman, Engineer Modeling Technician
Theresa Gadson, Utilities Services Specialist
Lydia Owens, Development Coordinator



Rev. No. 0

10/1/1999

09020.00
Farm Hill

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April 7, 2009

HLA, Inc.
29-A Leinbach Drive
Charleston, South Carolina 29407
Attention: Brad Smith

MY DIRECT LINE IS:
(843) 727-7118

Re: Wastewater collection service non-availability to TMS#269-00-00-001, 269-00-00-002, 269-00-00-027(Lower Piece) as combined and re-subdivided for multiple commercial & residential developments


Dear Mr. Smith:

This letter is to certify our inability as of the date of this correspondence, to provide wastewater collection service to your lower piece sites as combined and re-subdivided in the City of Charleston, Berkeley County, South Carolina. Wastewater collection service to your lower piece is not currently available, however; wastewater collection to your lower piece may be made available via construction of a gravity wastewater collection system, a force main and a pump station. The Charleston Water System will require a pump station site and ingress/egress. *It will be your engineer's responsibility to design any gravity wastewater collection system extension, the pump station, and force main and submit it to the Charleston Water System for the review process and final approval.*

Please be advised any extensions of the infrastructure to serve this site will be a developer expense and also be advised that wastewater impact fees, wastewater tap fees, change-in-use fees, and/or cost to extend fees will be due prior to final inspection and connection to any Charleston Water System's sewer mains.

If there are any questions pertaining to this letter, please do not hesitate to call on me at (843) 727-7118. With best regards, I am

Very truly yours,


Maurice D. Brown
Engineering Assistant
Charleston Water System

Cc: Mark F. Cline PE, Capital Projects Officer
Russell Huggins PE, Director of Engineering
Curtis Denman, Engineer Modeling Technician
Theresa Gadson, Utilities Services Specialist
Lydia Owens, Development Coordinator



January 19, 2009

Mr. Brad Smith
HLA, Inc.
29 Leinbach Drive, Bldg A
Charleston, SC 29407

Re: Farm Hill Site, Clements Ferry Rd, Berkeley County

Dear Mr. Smith:

I am pleased to inform you that South Carolina Electric & Gas Company (SCE&G) will be able to provide electric and gas service to the above referenced project. Electric and gas service will be provided in accordance with SCE&G's General Terms and Conditions, other documents on file with the South Carolina Public Service Commission, and the company's standard operating policies and procedures. Any associated customer contribution will be determined when equipment loads and projected revenues are analyzed. In order to begin engineering work for the project, the following information will need to be provided:

- Detailed utility site plan (AutoCAD format preferred) showing water, sewer, and storm drainage as well as requested service point/transformer location.
- Additional drawings that indicate wetlands boundaries, tree survey with barricade plan and buffer zones (if required), as well as any existing or additional easements.
- Electric and gas load breakdown by type with riser diagrams.
- Signed copy of this letter acknowledging its receipt and responsibility for its contents and authorization to begin engineering work with the understanding that SCE&G intends to serve the referenced project.

SCE&G construction standards and specifications detailing customer responsibilities are available at www.SCEG.com/en/builder-services/resources. For more information or questions, contact me by phone at (843) 576-8434 or at lmartin@scana.com.

Sincerely,

A handwritten signature in cursive script that reads "Linda Martin Flynn".

Linda Martin Flynn
Customer Services Engineering

AUTHORIZED SIGNATURE: _____ DATE: _____



**Kenneth E. Coffey, Assistant Superintendent
Operations and Facilities**

March 30, 2009

**Mr. Hank Hofford
Bennett Hofford Construction, Inc.
17 Lockwood Dr.
Charleston, SC 29401**

Dear Mr. Hofford,

I have reviewed the location of your planned new development on Clements Ferry Road. From the drawing you sent me, I assume the tax map numbers are 2690000043 and 2630002003. This area is in our Cainhoy Elementary/Middle School and Timberland High School attendance zone. We do have space in those buildings to house more students so the Berkeley County School District supports the development plan.

If you have any questions or concerns, please contact me.

Sincerely,

**Kenneth E. Coffey
Assistant Superintendent of Operations and Facilities
Berkeley County School District**



**AT&T
Southeast**

Andrew Jur
2600 Meeting St
N Charleston, SC 29405
843 722 5182
Andrew.jur@att.com
843 745-0856

March 26, 2009

Heidi L. Hoepfner
Project Coordinator
Bennett Hofford Construction Co, Inc.
17 Lockwood Drive
Charleston, S.C. 29401

RE: TMS #'s are: 269-00-00-027, 269-00-00-043, 263-00-02-003, 269-00-00-001, 269-00-00-002

Dear Heidi L. Hoepfner :

This is in response to your request for confirmation of service availability by AT&T. The above referenced project/development is located in an area served by AT&T.

Prior to confirming service availability to this project, AT&T requires information such as proposed land use, density, site plans, and agreements with respect to service arrangements for the project. Please contact me at the telephone number or email address shown above to arrange for providing any information that you may not have included in this request for service availability. No preparatory work towards providing service will begin at this time.

General information regarding AT&T's service to commercial buildings can be obtained from AT&T's Building Industry Consulting Service (BICS) and at www.bellsouth.com/bics.

Thank you for contacting AT&T.

Sincerely,

A handwritten signature in black ink, appearing to read "Andrew Jur".

Andrew Jur
AT&T